

Staff Report

TO: City Council

FROM: Bill Emlen, Planning and Building Director
Katherine Hess, Planning and Redevelopment Administrator
Esther Polito, Cultural Services Manager

SUBJECT: PA# 125-02, Establishing an R-2 Conservation District (R-2 CD) Zoning District

Recommendation

Staff recommends the City Council take the following actions:

1. Hold a public hearing on the proposed R-2 CD zoning district; and
2. Adopt Negative Declaration #22-02 finding that the proposed ordinance amendment will not have a significant negative impact upon the environment; and
3. Introduce an ordinance establishing provisions for a new zoning district, residential one and two family conservation district (R-2 CD), and rezoning lots in Old North and Old East R-2 zoning neighborhoods to the new district, as recommended by the Planning Commission.

Background/Problem Statement

In 2001, the City adopted a Conservation Overlay Zoning District and approved the use of the Downtown and Residential Neighborhood Design Guidelines for site plan and architectural approval of construction projects within the district. As part of that process, the authorizing ordinance states that, until such time as the zoning is updated, the stricter standard (Design Guidelines vs. Zoning) would be applied to project review.

The three residential neighborhoods within the Conservation District had zoning that needed to be updated: University Ave./Rice Lane, for which PD 2-86 was updated in 2002, and two R-2 neighborhoods of Old North and Old East. Shortly after the PD was revised, new legislation was introduced at the state level that would have an impact on the Second Unit approvals (probably the most contentious issue in R-2 neighborhoods). Consequently, staff deferred the R-2 zoning revision until Second Unit legislation was adopted and relevant city zoning approved. The second reading for the updated Second Unit ordinance was held on May 28. In June, an R2-CD neighborhood meeting and the first Planning Commission public hearing were held.

Summary

These zoning changes implement the required modifications needed to ensure that the zoning district is consistent with the city's adopted Design Guidelines in Old North and Old East neighborhoods, the two remaining Conservation District neighborhoods for which zoning has yet been updated. Staff and the Planning Commission have carefully considered

neighborhood input and made several adjustments during the drafting and public comment period to incorporate opportunities to mitigate significant changes to the built environment. The new standards are not substantively different than previous R-2 zoning, but do create discretionary options to make context-related decisions appropriate to these older neighborhoods that pre-date the city's zoning code. The Planning Commission has unanimously recommended, and staff concurs, that the Zoning District be adopted and that the Old North and Old East neighborhoods be re-zoned to the new district. However, in one instance having to do with parking, the Planning Commission has recommended a Conditional Use Permit process and staff is recommending Planning Commission Design Review. Please see the discussion on pages 6 and 7, "Parking Review: Design Review vs. Conditional Use."

Environmental Determination

Negative Declaration # 22-02 has been prepared for the project. Staff has determined that the proposed project will have no significant impact on the environment.

R-2 CD Zoning Objectives:

1. Create Conservation District zoning for the two R-2 Conservation District neighborhoods by generally bringing forward current R-2 zoning, while proposing modifications appropriate to the Conservation District built environment.
2. Ensure that CD zoning is consistent with design guidelines.
3. Create standards that are easy for both staff and the public to understand, apply, and enforce.

Public Outreach:

The public hearing notice was published in the Davis Enterprise, and mailed to all properties owners and residents in and within 300 ft. of the Old East and Old North neighborhoods. Approximately 30 property owners attended a neighborhood meeting on June 2, 2003, at which information was provided and discussion held on the proposed CD zoning and a related zoning amendment concerning existing non-conforming lots (the latter recently adopted by City Council).

Comments received at the June 2 meeting are summarized on a table attached to this report. Staff response and applicable zoning modifications (if recommended) are included in the table. Surveys were distributed, one of which has been returned to date and attached to this report under "Correspondence" and several emails, also attached, were received following the neighborhood meeting. Staff also attended an Old North Neighborhood Association meeting on July 25 and sent several follow-up email messages to Old East residents. Finally, the draft zoning proposal has been posted to the city's web site this week and email notices announcing the URL was sent to Old North and Old East Neighborhood Associations.

The Planning Commission held two public hearings to review the proposed R2CD Ordinance, first on June 17, and again on August 5. Both public hearings were fully noticed. The December 9, 2003, City Council public hearing has also been fully noticed in accordance with zoning code standards.

Residential One and Two Family (R-2) Zoning retained as basis for R-2 CD district

The main thrust of this project was to bring forward the current R-2 zoning with modifications to ensure that the two controlling documents - zoning standards and design guidelines - work together. In this way, all three project goals would be met: consistency with the built environment, consistency with the design guidelines, and clarifying expectations and streamlining the approval process.

While several participants at the neighborhood meeting commented that R-1 zoning is, in their opinion, more appropriate for these neighborhoods, Staff and the Planning Commission recommend that the R-2 update go forward rather than be delayed by further study. Extensive public outreach during the design guideline process helps ensure that the proposed zoning reflects neighborhood vision. In regard to future studies, staff believes that creating the special zoning district will increase neighborhood flexibility when considering future Conservation District context needs.

New R-2 CD Zoning District Modifications and Analysis

In general, the proposed permitted, accessory and conditional uses are the same as in the R-2 district, with the greatest exception applying to Second Units and Guest Houses. Below is a list of the proposed modifications, with analysis.

Incorporating standards from other zoning sections: Staff has incorporated zoning standards from other sections where possible rather than incorporating by reference. For example, current R-2 zoning refers to R-1 section for Second Unit standards. In the proposed zoning, Second Unit standards have generally been incorporated. Where references have been retained, it is either because of the infrequency of the use (such as off-street parking for potential conditional uses not specified here) or because the referral is to a process that is too lengthy to incorporate other than by reference (Design Review process, for example).

Accessory Uses: Secondary Dwelling Units and Guest Houses are proposed as accessory permitted uses rather than conditional uses. Ministerial second units are provided for, consistent with the new Second Unit ordinance. Secondary unit size standards have been included rather than incorporated by reference. All enclosed accessory buildings are limited to a 480 square foot footprint, and 15 feet in height, as per the design guidelines, except in Old East and on the east side of F Street (see height requirements, below). As per the design guidelines design review process, all projects will be noticed within 300 ft. and also posted on-site. Further, staff will send notices to neighborhood associations. Projects for which setback reductions are requested will be considered by the Planning Commission at a fully noticed public hearing.

Guest house size standards have been increased to be consistent with Second Unit standards. Under current zoning, guest houses are limited to 25% of the primary structure, while Second Units are limited to 50%. Recognizing that guest houses have the potential for less impact on neighbors, staff could find no substantive reasons for the different standards, and recommend that the difference be eliminated. Parking requirements will still need be assessed, by requiring

guest house bedrooms be added to the primary dwelling bedrooms when calculating the total number of spaces required.

Conditional Uses: With the exception of Second Units and Guest Houses (see above) Conditional uses from the current R-2 zoning have been brought forward, and one added: converting existing non-conforming accessory structures to Secondary Dwelling Units or other habitable space. While converting an existing garage may not always be desirable, there are certainly times when the established built environment supports a new use, provided that privacy issues are fully considered. The flexibility to approve will keep the door open for decisions appropriate to the historic context.

Height Requirements

- Principal buildings: Current maximum height of 30 feet has been retained.
- Accessory Structures: Maximum height for accessory buildings has been modified to 15 feet, except in Old East and on the east side of F Street in Old North, where increases up to 30 ft. can be considered through a Planning Commission Design Review approval.

The Design Guidelines provide that the height of accessory structures in Old North be limited to 15 feet while height in Old East may be increased. Andrew Wallace, an F Street homeowner and Old North Davis board member, commented at the neighborhood meeting and later by email and at the June public hearing that Old North lots on east side F Street back onto more intense zoning districts: either CC or Mixed-Use, depending on location. Mr. Wallace proposed that the zoning allow discretionary approval of increased accessory building height on east side of F Street to help transition between zoning districts. No negative comments to his have been received.

The relative accessory building height for east side F Street lots was not studied during the design guideline development. After further analysis, staff agrees that transition options to the higher intensity zoning districts is in keeping with the design guideline approach of evaluating projects in context, although care will be needed to ensure that adjacent neighbors are not negatively impacted by a taller accessory building.

Minimum lot area, width and yard requirements

- Area and width: The city's current minimum R-2 lot area and width requirements were set after these neighborhoods were developed. All Old North lots (except for a handful of "double lots") do not meet the current minimum area and width requirements. The same is true for the almost all lots in Old East that have not been combined for apartment buildings. Staff has proposed lower lot area and width minimums to eliminate this "non-conforming existing" problem and to reflect more accurately the historical and desirable built environment. Please note that, for the few lots in Old North and Old East still below the minimum, the new "non-conforming existing" zoning amendment will provide for development consistent with the other R-2 CD lots.

- Proposed rear yard coverage excludes two alley parking spaces from rear yard coverage calculations, allowing for the addition of a Second Unit and alley parking, heretofore an almost impossible task to accomplish.
- Front setbacks have been revised to reflect the built environment. The design guideline method of averaging has been proposed.
- Street side yard setbacks Current street side yard setbacks, 15 feet, do not reflect the built environment, particularly in Old North. Staff proposes that they be reduced to 10 feet. Again, the design review process will help ensure that projects are appropriate in context. Side yard setbacks have been modified to reflect "large house" standards for one-story buildings over twenty feet high.
- FAR has been added, also to reflect new "Large House" standards.
- Alley landscaping requirements have been added, consistent with design guidelines.
- Exceptions to the standards, as provided for in the ordinance, will be considered by the Planning Commission following a fully noticed public hearing.

Parking

- Principal buildings: Parking spaces standards have been revised to include "large house" parking provisions. Guest houses will be included in calculations for total bedrooms, as per large house parking requirements. Upon approval of the Planning Commission, one parking space on certain alley lots may be left undeveloped, in a "landscape reserve." Staff has recommended that Design Review be used for this approval, while Planning Commission has recommended a Conditional Use Permit. For discussion, please see the section on Planning Commission Review and Recommendation, page 6 and 7 of this report.
- Secondary Dwelling Units : Studio and one bedroom accessory building units require one parking space, plus one additional per bedroom. Staff has recommended that secondary dwelling unit parking requirements be reduced one space on any lot on which primary building standards have been fully met. The reduced parking requirement will help address how parking can be accomplished in a manner sensitive to the neighborhood. The net result may be that the parking reduction encourages small scale infill (Secondary Dwelling Units) over larger duplexes. If so, that would address in part the neighborhood concerns about overbuilding the smaller parcels. Note, however, that primary building parking standards must be met in full before this reduction can be approved.
- Other reductions: Staff has also included a provision that parking requirements can be reduced by the Planning Commission with a finding that the reduction is needed in order to protect a historic building or landscape feature.

Special Exceptions for existing non-conforming buildings:

- Changing the use of an existing non-conforming accessory structure Currently, accessory structures may not be converted to habitable space unless structure is consistent with district. In August, the Planning Commission supported the staff recommendation to establish a Conditional Use Permit process for the conversion of non-conforming non-habitable accessory structures to habitable space, subject to certain findings. Without this provision, a non-conforming structure could not be converted. (Under city code section 40.28.120 , if setbacks were legal when the structure was built, the structure may be expanded along its existing side yard first-story setbacks. Second story additions would need to comply to current second story setbacks.)
- Standards for replacing a structure when involuntarily damaged or destroyed Under established city code 40.28.110, a building that is damaged by less than sixty percent of its appraised value for tax purposes, exclusive of the foundations at the time of damage, can be rebuilt as before, provided that it shall be substantially completed within six months of damage or destruction.

On June 17, the Planning Commission asked staff to consider provisions that could allow a damaged structure to be replaced. In response staff provided, and Planning Commissioners approved, a new section, 40.04A.080 (b) to extend the provision above to up to 100% of damaged structure value, with 18 months to complete replacement. This replacement is limited to rebuilding the structure as it was before.

Once a building is significantly destroyed, it seems highly unlikely that an applicant would undertake replacement without making significant changes. Staff considered allowing expansion coupled with replacement, but at that point it seems more much appropriate to review the structure under standards for new construction. Therefore, while staff can support the revised standards, we do not expect it to have much impact.

Planning Commission Review and Recommendations

Following public hearings on June 17 and August 5, the Planning Commission unanimously recommended that the Proposed zoning be adopted, with one modification to the language at the end of 40.04A.070 Parking, (b), a paragraph that provides for the reduction of one parking space though Design Review process by creating a landscape reserve which could be developed as needed to meet future parking needs. Planning Commissioners also considered and rejected a request to allow new construction (following a voluntary demolition) to meet existing non-conforming standards.

- **Parking Reserve: Design Review vs. Conditional Use** Staff proposed the landscape reserve option in response to neighborhood concerns that additional paving on the small lots can effectively change the built environment in way inconsistent with its historic nature. The Planning Commission supported the option in concept, but determined that the appropriate process should be a Conditional Use Permit rather than a Planning

Commission Design Review approval. Planning Commissioners stated that setting aside areas for parking without having an enforcement mechanism to trigger when a parking space would have to be developed was not good planning.

Commissioners asked staff's choice between two options: Requiring all parking spaces to be developed as part of initial application, or establishing a Conditional Use Permit process to reserve one space. Staff responded that the CUP process would be preferred to eliminating the reserve space option, since allowing a reserved space would allow contextual neighborhood development. Therefore, the final motion was to recommend that a Conditional Use Permit be required when someone wants to "reserve" a space.

However, staff continues to recommend that the City Council approve the Design Review process rather than the CUP process for the potential reduction. Both reviews require a public hearing before the Planning Commission during which neighborhood parking issues would be discussed. The critical difference is that the staff proposal allows a future occupant could convert a reserved area to a parking space at their own discretion. Staff finds it unlikely that the city would reopen a group of CUPs to address neighborhood parking issues. Further, the design review process will require that approved site plans clearly indicate the reserved area, so that future projects on the parcels would have to continue the reservation.

For these reasons, staff is continuing to recommend a Planning Commission level Design Review approval rather than a Conditional Use Permit. If the City Council prefers the CUP approach, the ordinance can be revised appropriately.

- **Appropriate Standards for New Construction** At their June meeting, Planning Commissioners heard testimony that many of the existing structures in Old North do not comply with the proposed reduced setbacks and that therefore new structures should not be required to meet more stringent standards. After reviewing Old North data in August, the Planning Commission ultimately concurred with the staff recommendation that the standards and exceptions included in the proposed zoning provide sufficient flexibility to consider the setbacks in context and no further modifications were needed

Allowing expansion but not replacement provides an incentive that discourages demolition. Putting it another way, using non-conforming set backs for new construction has the likely unintended consequence of encouraging demolition. Since one of the goals of the conservation district is to discourage demolition while providing ways to expand and reuse existing buildings, a proviso that could encourage demolition would be inappropriate. On a technical note, to allow different standards on each lot based on earlier site plans would result over time in zoning that was hard to administer and inconsistent on a lot to lot basis.

Under city code section 40.28.120 , if setbacks were legal when the structure was built, the structure may be expanded along its existing side yard first-story setbacks. Second

story additions would need to comply to current second story setbacks. Staff does not recommend applying non-conforming standards for new construction following demolition. The flexibility already provided for in the proposed zoning ordinance should adequately protect the neighborhood.

Conclusion:

While there are unresolved issues, particularly among those property owners who feel strongly that R-1 zoning is more appropriate in these older neighborhoods, staff firmly believes that the zoning should be updated now to R-2 standards. The special Conservation District zoning will make it easier to accommodate future changes than under the current city-wide applicable R-2 zoning. We think the flexibility incorporated with these changes will encourage reinvestment in the neighborhood and hence, increased stability. This is critical as the city balances between preserving unique neighborhood characteristics while permitting incremental change to accommodate residential needs. We recommend its adoption as proposed.

Attachments

1. Initial Study for Negative Declaration and Public Hearing notice
2. Proposed R-2 CD Zoning Ordinance
3. Current R-2 Zoning District
4. DTRN Design Guideline excerpts
5. Table of Recent Revisions
6. Old North Davis parking survey
7. June 17 and August 5 PC Staff Reports
8. Minutes, June 17 Planning Commission public hearing
9. Minutes, August 5 Planning Commission public hearing
10. Neighborhood Meeting Comment Table
11. Correspondence

**City of Davis
Notice of Public Hearing**

The City of Davis **City Council** will conduct a Public Hearing on the following items at a meeting beginning at **6:00pm** on **Tuesday, December 9, 2003** in the Community Chambers, City Offices, 23 Russell Boulevard, Davis, California. Please contact the City Clerk for the approximate time this item will be heard.

Applicants: The City of Davis

Project Location: City of Davis, primarily Old North and Old East R-2 neighborhoods

File Numbers: Project Application #125-02, Negative Declaration #22-02

Project Descriptions:

The project consists of a Zoning Ordinance to address inconsistencies between the current R-2 zoning of the Old North and Old East neighborhoods and the standards set forth in the Downtown Design Guidelines. The Ordinance has already gone before the Planning Commission, where the Negative Declaration was unanimously recommended for approval and the Amendment recommended for adoption.

The Ordinance proposes to amend the city's zoning code as follows:

1. The creation of a new standard zoning district: Residential One and Two Family within the Conservation District (R-2 CD). This new zoning district is proposed to be created and adopted in both the Old North and Old East residential neighborhoods, in an effort to incorporate into its standard zoning regulations the previously approved Downtown and Traditional Residential Neighborhood Design Guidelines for the two areas.
2. The rezoning of the existing residential (R-2) neighborhoods within the Old North and the Old East from R-2 to the proposed R-2 Conservation District. The residential neighborhoods currently zoned R-2 are located within, but are not the entirety of the following boundaries:
 - a. Old North neighborhood is bound by B Street on the West, the railroad tracks to the East, Seventh Street and Pennsylvania Place to the North, and Fifth Street on the South.
 - b. Old East neighborhood is bound by the railroad tracks to the West, L Street to the East, Yale Street to the North, and Second Street to the South.

Environmental Determination:

The city has reviewed the project for its potential environmental effects and found there to be little or no environmental impact, as shown in the initial study for Negative Declaration #22-02, which is recommended for adoption.

Availability of Documents:

The project application file is available for review at the Planning and Building Department, City Offices, 23 Russell Boulevard, Davis, California, 95616, (530) 757-5610. Please contact **Esther Polito**, the project planner on this particular application. Staff reports are available for the price of copying at Kinko's Copies, 213 G Street, Mailboxes Etc. 417 Mace Blvd., and Navin's Copy Shop 231 Third Street. Staff reports for the public hearing are generally available five (5) days prior to the hearing date.

Public Comments:

All interested parties are invited to attend the public hearing or send written comments to **Esther Polito** at the Planning and Building Department no later than twelve noon on the hearing date.

The City does not transcribe its proceedings. Persons who wish to obtain a verbatim record should arrange for attendance by a court reporter or for some other means of recordation. Such arrangements will be at the sole expense of the person requesting the recordation.

If you wish to challenge the action taken on this matter in court, the challenge may be limited to raising only those issues raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Director or City Clerk at, or prior to, the public hearing.

Bill Emlen, Director
Planning and Building Department

Environmental Checklist and Initial Study

Project Title: Amendments to the Zoning Ordinance to include: An amendment to Section 40.27.020, eliminating a minimum lot area and allowing all existing lots within residential districts the ability to develop based on current city zoning standards. The other amendments will include the creation of a standard zoning district entitled Residential One and Two Family within the Conservation District (R-2 CD) and the rezone of Old North and Old East R-2 neighborhoods to the proposed R-2 CD zoning.

Lead Agency Name and Address: City of Davis
Planning and Building Department
23 Russell Blvd.
Davis, California 95616

Contact Persons and Phone Number: Esther Polito, Cultural Services Manager,
(530) 757-5610
Danielle Foster, Junior Planner, (530) 757-5610

Project Location: City of Davis.

Project Sponsor's Name and Address: City of Davis
23 Russell Blvd.
Davis, CA 95616

Policy, Plan, and Zoning Consistency: These Zoning Ordinance Amendments will be consistent with the City of Davis General Plan, Zoning Ordinance, and Downtown and Traditional Residential Neighborhood Design Guidelines.

Previous Relevant Environmental Analysis: Previous environmental review was prepared for the Downtown and Traditional Residential Neighborhood Design Guidelines. The proposed zoning amendments will be consistent with those guidelines and the environmental review that was adopted, but further review of potential impacts is included within this initial study.

Description of Project:

1. Zoning Ordinance Amendment to Section 40.27.020, eliminating a minimum lot area and allowing all existing lots (Established before March 6, 1963) within residential areas the ability to build based on the current zoning standards.

2. Create a standard zoning district entitled Residential One and Two Family within the Conservation District. (R-2 CD) This will implement the Design Guidelines, adopted in 2001, into the zoning standards for the Old North and Old East neighborhoods.
3. The rezoning of the existing residential (R-2) neighborhoods within the Old North and the Old East from R-2 to the proposed R-2 Conservation District. The residential neighborhoods currently zoned R-2 are located within, but are not the entirety of the following boundaries:
 - a. Old North neighborhood is bound by B Street on the West, the railroad tracks to the East, Seventh Street and Pennsylvania Place to the North, and Fifth Street on the South.
 - b. Old East neighborhood is bound by the railroad tracks to the West, L Street to the East, Sixth Street to the North, and Second Street to the South.

Surrounding Land Uses and Setting: The first Zoning Ordinance Amendment will apply to all residential zoning designations within the City of Davis, and all Planned Developments that also consist of residential zoning. The other Zoning Ordinance Amendments will include the creation of the R-2 Conservation District as a standard zoning district, which will primarily effect the R-2 neighborhoods within the Old East and Old North neighborhoods in town, where it will be proposed to serve as the newly adopted zoning.

Other Agencies Whose Approval is Required: None

Environmental Factors Potentially Affected: The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or as indicated by the checklist on the following pages.

- | | | |
|---|---|--|
| <input type="checkbox"/> Land Use and Planning | <input type="checkbox"/> Transportation/Circulation | <input type="checkbox"/> Public Services |
| <input type="checkbox"/> Population and Housing | <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Utilities and Service Systems |
| <input type="checkbox"/> Geophysical | <input type="checkbox"/> Energy and Mineral Resources | <input type="checkbox"/> Aesthetics |
| <input type="checkbox"/> Water | <input type="checkbox"/> Hazards | <input type="checkbox"/> Cultural Resources |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Noise | <input type="checkbox"/> Recreation |
| | <input type="checkbox"/> Mandatory Findings of Significance | |

Conclusions:

The proposed project will not have a significant effect on the environment for the following reasons:

1. It will not generate a significant amount of additional vehicles, noise or emission levels.

2. It will not affect rare or endangered species of animal or plant, or habitat of such species.
3. It will not eliminate important examples of major periods of California history or pre-history.
4. It will not result in a significant effect on air, water quality or ambient noise levels for adjoining areas.
5. It will not be subjected to unacceptable risk of flooding or major geological hazards.
6. It will not have a substantial aesthetic affect.
7. It will not breach any published national, state or local standards relating to solid waste.
8. It will not involve the possibility of contaminating public water supply or adversely affecting groundwater.
9. It will not result in or add to a violation of the waster discharge requirements applicable to local sewer systems as prescribed by California Regional Water Quality Control Board.
10. It will not allow for improper uses within specified zoning districts.
11. It will not occur to the disadvantage of long-term environmental goals.
12. It will not result in adverse cumulative impacts.
13. It will not result in adverse growth-inducing impacts.
14. It will not result in substantial adverse effects on human beings either directly or indirectly.
15. It will not conflict with the City's General or Specific Plans.
16. It will not conflict with State Laws and Regulations.

Determination:

On the basis of this initial evaluation:

I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.

I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures described herein have been added to the project. A **NEGATIVE DECLARATION** will be prepared.

I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.

I find that the proposed project **MAY** have a significant effect(s) on the environment, but at lease one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets, if the effect is a "potentially significant impact" or "potentially significant unless mitigated." An **ENVIRONMENTAL IMPACT REPORT** is required, but it must analyze only the effects that remain to be addressed.


Signature

May 22, 2003
Date

Danielle Foster
Printed Name

City of Davis - Planning & Building Department
Agency

Evaluation of Environmental Impacts:

| Issues (and Supporting Information Sources): | Potentially Significant Impact | Potentially Significant Unless Mitigation Incorporated | Less Than Significant Impact | No Impact |
|--|--------------------------------|--|------------------------------|-------------------------------------|
| I. LAND USE AND PLANNING. Would the proposal: | | | | |
| a) Conflict with general plan designation or zoning? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Conflict with applicable environmental plans or policies adopted by agencies with jurisdiction over the project? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Be incompatible with existing land use in the vicinity? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) Affect agricultural resources or operations (e.g. impacts to soils or farmlands, or impacts from incompatible land uses)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

The proposed amendments will be consistent with City land use designations and will support the existing neighborhoods through the implementation of their design guidelines.

| Issues (and Supporting Information Sources): | Potentially Significant Impact | Potentially Significant Unless Mitigation Incorporated | Less Than Significant Impact | No Impact |
|--|--------------------------------|--|------------------------------|-------------------------------------|
| II. POPULATION AND HOUSING. Would the proposal: | | | | |
| a) Cumulatively exceed official regional or local population projections? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Induce substantial growth in an area either directly or indirectly (e.g. through projects in an undeveloped area or extension of major infrastructure)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

| Issues (and Supporting Information Sources): | Potentially Significant Impact | Potentially Significant Unless Mitigation Incorporated | Less Than Significant Impact | No Impact |
|--|--------------------------------|--|------------------------------|-------------------------------------|
| c) Displace existing housing, especially affordable housing? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

No housing will be displaced. Existing non-conforming lots will be granted the ability to develop in compliance with current zoning regulations, adding to housing stock, but not increasing it past what the city intended. There will be no substantial growth induced by these Zoning Ordinance Amendments.

| Issues (and Supporting Information Sources): | Potentially Significant Impact | Potentially Significant Unless Mitigation Incorporated | Less Than Significant Impact | No Impact |
|--|--------------------------------|--|------------------------------|-----------|
|--|--------------------------------|--|------------------------------|-----------|

III. GEOLOGIC PROBLEMS. Would the proposal result in or expose people to potential impacts involving:

| | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Fault rupture? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Seismic ground shaking? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Seismic ground failure, including liquefaction? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) Seiche, Tsunami, or volcanic hazard? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e) Landslides or mudflows? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f) Erosion, changes in topography or unstable soil conditions from excavation, grading, or fill? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| g) Subsidence of the land? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| h) Expansive soils? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| i) Unique geologic or physical features? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

The proposed Zoning Ordinance Amendments pertain to the existing lots within the City that are already designated for development or have been developed. EIR's have been prepared for these developments and no risks were found.

| Issues (and Supporting Information Sources): | Potentially Significant Impact | Potentially Significant Unless Mitigation Incorporated | Less Than Significant Impact | No Impact |
|--|--------------------------------|--|------------------------------|-------------------------------------|
| IV. WATER. Would the proposal result in: | | | | |
| a) Changes in absorption rates, drainage patterns, or the rate and amount of surface runoff? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Exposure of people or property to water related hazards such as flooding? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Discharge into surface waters or other alteration of surface water quality (e.g. temperature, dissolved oxygen or turbidity)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) Changes in the amount of surface water in any water body? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e) Changes in currents, or the course or direction of water movements? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f) Change in the quantity of ground waters, either through direct additions or withdrawals, or through interception of an aquifer by cuts or excavations or through substantial loss of groundwater recharge capability? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| g) Altered direction or rate of flow of groundwater? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| h) Impacts to groundwater quality? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| i) Substantial reduction in the amount of groundwater otherwise available for public water supplies? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

The proposed Zoning Ordinance amendments will not have a significant impact on the City's water supply. The drainage of each property will not be changed, and the possible effects to groundwater by residential development has already been reviewed and mitigated for, as these parcels are already designated residential. The land use designations and densities standards will not be changed with the proposed amendments.

| Issues (and Supporting Information Sources): | Potentially Significant Impact | Potentially Significant Unless Mitigation Incorporated | Less Than Significant Impact | No Impact |
|--|--------------------------------|--|------------------------------|-------------------------------------|
| V. AIR QUALITY. Would the proposal: | | | | |
| a) Violate any air quality standard or contribute to an existing or projected air quality violation? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Expose sensitive receptors to pollutants? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Alter air movement, moisture, or temperature, or cause any change in climate? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) Create objectionable odors? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Air quality shall not be impacted as a result of the proposed zoning amendments. It is possible that during construction of residential units that dust could be spread into the air, but that consideration was already accounted for and mitigated for separately within the EIRs for each residential area within the City.

| Issues (and Supporting Information Sources): | Potentially Significant Impact | Potentially Significant Unless Mitigation Incorporated | Less Than Significant Impact | No Impact |
|--|--------------------------------|--|------------------------------|-------------------------------------|
| VI. TRANSPORTATION/CIRCULATION. Would the proposal result in: | | | | |
| a) Increased vehicle trips or traffic congestion? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Hazards to safety from design features (e.g. sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Inadequate emergency access or access to nearby uses? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) Insufficient parking capacity on-site or off-site? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

| Issues (and Supporting Information Sources): | Potentially Significant Impact | Potentially Significant Unless Mitigation Incorporated | Less Than Significant Impact | No Impact |
|--|--------------------------------|--|------------------------------|-------------------------------------|
| e) Hazards or barriers for pedestrians or bicyclists? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f) Conflicts with adopted policies supporting alternative transportation (e.g. bus turnouts, bicycle racks)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| g) Rail, waterborne or air traffic impacts? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Transportation loads and impacts will not increase based on the proposed zoning ordinance amendments. The roads surrounding the affected areas within the City were previously studied and the impacts of the designated land uses were taken into account as parcels were zoned and developed. This proposed amendment would not significantly contribute to an increase in hazards, impacts, and street loads. Each residential project within the City will be examined on an individual basis, as currently done, to ensure that transportation will not be negatively affected.

| Issues (and Supporting Information Sources): | Potentially Significant Impact | Potentially Significant Unless Mitigation Incorporated | Less Than Significant Impact | No Impact |
|--|--------------------------------|--|------------------------------|-----------|
|--|--------------------------------|--|------------------------------|-----------|

VII. BIOLOGICAL RESOURCES. Would the proposal result in impacts to:

| | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Endangered, threatened or rare species or their habitats (including but not limited to plants, fish, insects, animals, and birds)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Locally designated species (e.g. heritage trees)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Locally designated natural communities (e.g. oak forest, coastal habitat, etc.)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) Wetland habitat (e.g. marsh, riparian and vernal pool)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e) Wildlife dispersal or migration corridors? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

The proposed amendments will not affect special status flora or fauna. All of the affected areas are within the City and have been or will be examined for any potential impacts environmentally. All designated species will be protected with any development, as City code requires.

| Issues (and Supporting Information Sources): | Potentially Significant Impact | Potentially Significant Unless Mitigation Incorporated | Less Than Significant Impact | No Impact |
|--|--------------------------------|--|------------------------------|-----------|
|--|--------------------------------|--|------------------------------|-----------|

VIII. ENERGY AND MINERAL RESOURCES. Would the proposal:

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Conflict with adopted energy conservation plans? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Use non-renewable resources in a wasteful and inefficient manner? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Result in the loss of availability of a known mineral resource that would be of future value to the region and the residents of the State? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

The proposed amendments will not have an effect on energy and mineral resources.

| Issues (and Supporting Information Sources): | Potentially Significant Impact | Potentially Significant Unless Mitigation Incorporated | Less Than Significant Impact | No Impact |
|--|--------------------------------|--|------------------------------|-----------|
|--|--------------------------------|--|------------------------------|-----------|

IX. HAZARDS. Would the proposal involve:

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) A risk of accidental explosion or release of hazardous substances (including, but not limited to: oil, pesticides, chemicals or radiation)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Possible interference with an emergency response plan or emergency evacuation plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) The creation of any health hazard or potential health hazards? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) Exposure of people to existing sources of potential health hazards? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e) Increased fire hazard in areas with flammable brush, grass, or trees? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

No health hazards will result from this project.

| Issues (and Supporting Information Sources): | Potentially Significant Impact | Potentially Significant Unless Mitigation Incorporated | Less Than Significant Impact | No Impact |
|--|--------------------------------|--|------------------------------|-----------|
|--|--------------------------------|--|------------------------------|-----------|

X. NOISE. Would the proposal result in:

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Increases in existing noise levels? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Exposure of people to severe noise levels? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

The proposed amendments will not directly result in additional noise impacts. Any future development that could be the outcome of the adoption of these amendments could have temporary noise impacts, which will be mitigated for on an individual basis.

| Issues (and Supporting Information Sources): | Potentially Significant Impact | Potentially Significant Unless Mitigation Incorporated | Less Than Significant Impact | No Impact |
|--|--------------------------------|--|------------------------------|-----------|
|--|--------------------------------|--|------------------------------|-----------|

XI. PUBLIC SERVICES. Would the proposal have an effect upon, or result in a need for new or altered government services in any of the following areas

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Fire protection? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Police protection? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Schools? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) Maintenance of public facilities, including roads? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e) Other governmental services? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

There will be no significant impacts to public services, as no land use or densities will change with the proposed amendments.

| Issues (and Supporting Information Sources): | Potentially Significant Impact | Potentially Significant Unless Mitigation Incorporated | Less Than Significant Impact | No Impact |
|--|--------------------------------|--|------------------------------|-----------|
|--|--------------------------------|--|------------------------------|-----------|

Issues (and Supporting Information Sources):

| | | | |
|---------------------------------------|---|-------------------------------------|------------------|
| Potentially Significant Impact | Potentially Significant Unless Mitigation Incorporated | Less Than Significant Impact | No Impact |
|---------------------------------------|---|-------------------------------------|------------------|

XII. UTILITIES AND SERVICE SYSTEM. Would the proposal result in a need for new systems or supplies, or substantial alterations to the following utilities:

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Power or natural gas? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Communications systems? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Local or regional water treatment or distribution facilities? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) Sewer or septic tanks? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e) Storm water drainage? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f) Solid waste disposal? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| g) Local or regional water supplies? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

The proposed amendments will not have a direct effect on utilities and services. Residential development will be examined on an individual basis.

Issues (and Supporting Information Sources):

| | | | |
|---------------------------------------|---|-------------------------------------|------------------|
| Potentially Significant Impact | Potentially Significant Unless Mitigation Incorporated | Less Than Significant Impact | No Impact |
|---------------------------------------|---|-------------------------------------|------------------|

XIII. AESTHETICS. Would the proposal:

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Affect a scenic vista or scenic highway? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Have a demonstrable negative aesthetic effect? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Create light or glare? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

The proposed amendments will not have negative aesthetic effects, it is the intention of staff that by incorporating the design guidelines into the zoning standards that the traditional residential neighborhoods will be better preserved.

Issues (and Supporting Information Sources):

| Potentially Significant Impact | Potentially Significant Unless Mitigation Incorporated | Less Than Significant Impact | No Impact |
|--------------------------------|--|------------------------------|-----------|
|--------------------------------|--|------------------------------|-----------|

XIV. CULTURAL RESOURCES. Would the proposal:

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Disturb paleontological resources? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Disturb archaeological resources? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Affect historical resources? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) Have the potential to cause a physical change which would affect unique ethnic cultural values? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e) Restrict existing religious or sacred uses within the potential impact area? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

The proposed amendments would instate the already adopted design guidelines into the zoning requirements of the areas of town containing historical significance. These amendments will maintain the integrity of historical resources and implement into zoning the processes already adopted in the guidelines, increasing staff review of any projects within the conservation district.

Issues (and Supporting Information Sources):

| Potentially Significant Impact | Potentially Significant Unless Mitigation Incorporated | Less Than Significant Impact | No Impact |
|--------------------------------|--|------------------------------|-----------|
|--------------------------------|--|------------------------------|-----------|

XV. RECREATION. Would the proposal:

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Increase the demand for neighborhood or regional parks or other recreational facilities? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Affect existing recreational opportunities? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

The project will not affect recreational demand or opportunities.

Issues (and Supporting Information Sources):

| | | | |
|---------------------------------------|---|-------------------------------------|------------------|
| Potentially Significant Impact | Potentially Significant Unless Mitigation Incorporated | Less Than Significant Impact | No Impact |
|---------------------------------------|---|-------------------------------------|------------------|

XVI. MANDATORY FINDINGS OF SIGNIFICANCE.

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Does the project have the potential to achieve short-term, to the disadvantage of long-term, environmental goals? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

The quality of the environment within the city will not be largely affected by the proposed amendments. The amendments will not increase density or change land uses, by not doing these things staff does not see any potential significant impacts that the proposed amendments would create.

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF DAVIS ADDING ARTICLE 40.04A TO CHAPTER 40 OF THE MUNICIPAL CODE TO ESTABLISH A NEW ZONING DISTRICT, THE RESIDENTIAL ONE AND TWO FAMILY CONSERVATION DISTRICT (R-2 CD), AND REZONING LOTS IN THE OLD NORTH DAVIS AND OLD EAST DAVIS NEIGHBORHOODS TO THE NEW DISTRICT.

WHEREAS, the purpose of the Zoning Ordinance of the City of Davis is to establish a precise and detailed plan for the use of land in the City based on the General Plan; and

WHEREAS, the City has enacted Article 40.13A.010, by Ordinance 2066, which established a Downtown and Traditional Residential Neighborhood ("DTRN") Overlay District, an established site plan, and architectural review requirements for the Overlay District's R-2 neighborhoods; and

WHEREAS, the City has adopted, by resolution, the Downtown and Traditional Residential Neighborhood Design Guidelines for the DTRN to provide design guidelines for all proposed new structures or additions to existing structures; and

WHEREAS, section 40.13A.020(b) of the Municipal Code states that, "[w]herever the guidelines for the DTRN conflict with the existing zoning standards, including planned development, the more restrictive standard shall prevail"; and

WHEREAS, this ordinance would create a new zoning district consistent with the adopted Downtown and Traditional Residential Design Guidelines; and

WHEREAS, the City finds that it is important to have clear and consistent regulations within the Zoning Code; and

WHEREAS, the City held a widely noticed public meeting on this ordinance on June 2, 2003; and

WHEREAS, the Planning Commission held noticed public hearings on June 17 and August 5, 2003 to consider this ordinance and to recommend its adoption to the City Council; and

WHEREAS, the City Council held a noticed public hearing on December 9, 2003; and

WHEREAS, Negative Declaration #22-02 was prepared to evaluate the environmental impacts of this ordinance; and

WHEREAS, the City Council finds that no significant impacts would result from the adoption of this ordinance,

NOW THEREFORE, the City Council of the City of Davis does hereby ordain as follows:

SECTION 1. Article 40.04A, establishing a Residential One and Two Family Conservation (R2-CD) Zoning District, is hereby added to the Davis Municipal Code as follows:

Article 40.04A Residential One and Two Family Conservation (R2-CD) District

- 40.04A.010 Purpose.**
- 40.04A.020 Permitted uses.**
- 40.04A.030 Accessory uses.**
- 40.04A.040 Conditional uses.**
- 40.04A.050 Height regulations.**
- 40.04A.060 Area, lot width and yard requirements.**
- 40.04A.070 Parking.**
- 40.04A.080 Special exceptions for existing legal non-conforming structures.**
- 40.04A.090 Design review.**

40.04A.010 Purpose.

The purpose of the residential one and two family conservation district (R-2 CD) is to stabilize and protect the historic residential characteristics of the Old North Davis and Old East Davis residential neighborhoods within the city's adopted Conservation Overlay Zoning district, and to promote and encourage a suitable environment for residential living. The R-2 CD district is intended for residences and community services appurtenant thereto.

40.04A.020 Permitted uses.

The principal permitted uses of land in an R-2 CD district are as follows:

- (a) Up to two single-family dwellings per lot.
- (b) Duplex or two-family dwellings.
- (c) Agriculture, except the raising of animals or fowl for commercial purposes, or the sale of any products at retail on the premises.
- (d) Family and group day care homes as defined in section 40.26.270 of this chapter.
- (e) Group care homes with six or fewer clients, subject to the provisions of section 40.26.135 of this chapter.

40.04A.030 Accessory uses.

The following accessory uses are permitted in the R-2 CD district:

- (a) Home occupations subject to the provisions of sections 40.04A.090 and 40.26.150 of this chapter.
- (b) Swimming pools, subject to the provisions of section 40.26.350 of this chapter.
- (c) Signs, subject to the regulations of section 40.26.020 of this chapter.
- (d) Other accessory uses and accessory buildings customarily appurtenant to a permitted use, subject to requirements of section 40.26.010 (Accessory Buildings/Structures) of this chapter, except as modified within this article. The maximum footprint for any enclosed accessory structure is 480 square feet. The maximum height for any accessory building shall be 15 feet

except as provided for in 40.04A.050 (b).

(e) Secondary Dwelling Unit and Guest Houses. A maximum of one secondary dwelling unit or one guest house is permitted on any one lot where at least one, but no more than one, single-family residence exists on a property.

(1) Ministerial Secondary Dwelling Units. In accordance with section 40.26.450(g) (Ministerial Secondary Dwelling Units and Guest Houses) of this chapter and notwithstanding all other requirements of this section or elsewhere in this chapter, secondary dwelling units that do not exceed 500 square feet shall be exempt from design review provided that they do not result in any exterior alteration or addition of any kind, including doors and windows.

(2) All secondary dwelling units and guest houses not meeting the Ministerial Secondary Dwelling Unit requirements set forth in section 40.26.450 are subject to design review, pursuant to section 40.04A.90 of this article. In addition to standards established in 40.04A.030(d) and elsewhere in this R-2 CD zoning district, the following standards shall apply:

(A) The maximum lot coverage shall be fifty percent (50%) for the total of the primary structure, any secondary unit and any other accessory structure.

(B) The maximum total square footage for a secondary dwelling unit or guest house is 1,200 square feet or fifty percent (50%) of the primary structure, whichever is less.

(C) Attached secondary dwelling units and guest houses shall have the same setbacks as those established for primary buildings in section 40.04A.060 of this article.

(D) Parking for secondary dwelling units and guest houses shall be determined in accordance with section 40.04A.070 of this article.

(E) Guest houses may have restroom facilities (toilet, sink, bathtub and/or shower) but are prohibited from having a kitchen or cooking facilities. A guest house may not be rented or leased separate from the principal structure.

40.04A.040 Conditional uses.

The following conditional uses may be permitted in the R-2CD district:

(a) Public and semi-public buildings and uses of a recreational, educational, cultural or public service type, including public utility, but not including corporation yards, storage or repair yards, warehouses and similar uses.

(b) Hospitals, churches and other religious and eleemosynary institutions, subject to the provisions of section 40.26.160.

(c) Temporary tract offices, subject to the provisions of section 40.26.360 of this chapter.

(d) Nursery schools and day care centers, subject to the provisions of section 40.26.270 of this chapter.

(e) Multiple dwellings meeting the area, lot width, open space, yard, parking, special conditions and height limitations allowable within the R-3-L district.

(f) Group care homes with more than six clients, subject to the provisions of section 40.26.135 of this chapter.

(g) Conversion of an existing non-conforming non-habitable accessory structure to a secondary dwelling unit or guest house as provided for in section 40.04A.080 of this article; provided that:

(1) The accessory structure was not constructed in violation of any zoning ordinance previously in effect in the district; and

(2) The new use will not constitute a nuisance.

40.04A.050 Height regulations.

- (a) **Principal buildings.** No principal building shall exceed two stories or thirty feet in height.
- (b) **Accessory buildings.** No accessory building shall exceed fifteen feet in height, unless the accessory building is located in Old East Davis or on a lot on the east side of "F" Street, and the Planning Commission has approved a discretionary design review application to increase the maximum height to no more than thirty feet, pursuant to section 40.040A.090 of this chapter.

40.04A.060 Area, lot width and yard requirements.

The following minimum requirements shall be observed, except where increased for conditional uses or as provided in section 40.04A.080 or 40.27.040 of this chapter:

- (a) **Lot area.** In Old North Davis, the minimum lot size for any lot adjoining an alley shall be 5,625 square feet, and the minimum lot size for any lot not adjoining an alley shall be 6,000 square feet. In Old East Davis, the minimum lot size for all lots shall be 5,250 square feet.
- (b) **Lot width.** All lots shall be a minimum of fifty feet wide.
- (c) **Usable Open space.** A minimum of twenty percent of the lot area shall be usable open space.
- (d) **Lot coverage.** Lot coverage shall not exceed forty percent, except that an accessory structure may, in combination with the primary structure, exceed the otherwise applicable maximum lot coverage, up to a maximum of fifty percent. Trellises are exempt from lot coverage calculations.
- (e) **Rear Yard Coverage.** No more than thirty percent of the square footage of the required rear yard area may be covered with impervious surfacing for parking and/or structures, unless the rear yard abuts an alley. If the rear yard abuts an alley, trellises and a maximum of two required parking spaces may be exempted from rear yard coverage calculations.
- (f) **Front yard setback.**
 - (1) The least restrictive criteria shall apply to front yard setbacks:
 - (A) The front yard setback is equal to the average front setback of all residences on both sides of the street within 100 feet of the property lines of the new project; or
 - (B) The front yard setback is equal to the average of the two immediately adjacent buildings.
 - (2) Certain architectural features such as stoops, but not including porches that are an integral architectural element on the front of a house, and other minor covered entrances attached to the main building front may project into the required front setback by an additional five feet.
 - (3) Accessory structures, including garages and carports, but excluding trellises and arbors, may not be located within the front half of the lot.
- (g) **Side yard setback.**
 - (1) If a street side yard adjoins a sidewalk that is separated from the street by a planting strip, the minimum setback shall be ten feet. If a street side yard adjoins a sidewalk without a planting strip, the minimum setback shall be fifteen feet.
 - (2) **Interior side yards.** The minimum side yard setback for any primary or accessory structure with an interior side yard shall be five feet, and the total side yard setback shall be a minimum of twelve feet. These setbacks shall not apply to projections as permitted by section 40.27.060 or as otherwise provided for elsewhere in this section. If the principal building is at least two stories or exceeds twenty feet in height, then the setback for the one-story portion, or any portion less than twenty feet, shall be five feet. The setback for the two-story portion, or any portion of a single story structure that exceeds twenty feet in height, shall be ten feet.
 - (3) Upon approval by the Planning Commission of a discretionary design review application,

pursuant to section 40.04A.090 of this chapter, if an accessory structure's side yard adjoins an alley, the required side yard setback of the accessory structure may be reduced from five feet to zero feet.

(4) Upon approval by the Planning Commission of a discretionary design review application, pursuant to section 40.04A.090 of this chapter, the required side yard setback for the second story of a two story structure (or for any portion of a one story structure that exceeds twenty feet in height) may be reduced from ten feet to no less than five feet. Consistent with the DTRN Design Guidelines, the Planning Commission shall consider, among other design considerations, the proposed building's mass and scale and the effect of reducing the set back on streetscape, neighbors' privacy and shading patterns.

(5) Pursuant to the design review process set forth in section 40.04A.090 of this chapter, any side yard setback may be reduced in order to encourage the clustering of garages and other accessory structures on adjacent properties and/or to protect historic landscaping.

(h) Rear yard setback.

(1) Except as otherwise provided for in this section, the minimum rear yard setback for the first story of a primary structure shall be twenty feet.

(2) If a structure is over one story, the minimum rear yard setback for the first story shall be twenty feet, and the minimum rear yard setback for any portion of the structure that is over one story shall be twenty-five feet.

(3) Corner lots. The minimum rear yard setback for corner lots may be five feet, but only if there is an unimproved area in the rear yard that is equal to the open space square footage that would otherwise be required by this article. The open space square footage that would otherwise be required by this article is determined by making the following computation: by multiplying the lot width by twenty for any single-story principal building, or by multiplying the lot width by twenty-five for a principal building that is at least two stories.

(4) The minimum rear yard set back for an accessory structure shall be ten feet, unless the accessory structure adjoins an alley, in which case the minimum rear yard setback shall be five feet. Upon approval by the Planning Commission of a discretionary design review application pursuant to section 40.04A.090 of this chapter, the rear yard setback of an accessory structure may be reduced from ten feet to no less than five feet unless the rear yard of the lot adjoins an alley, in which case the rear yard setback may be reduced from five feet to zero feet.

(i) Alley landscaping. 40 percent of the rear lot line adjoining an alley in Old North Davis shall be landscaped with plant materials. This alley landscaping requirement does not apply to Old East Davis.

(j) Floor Area Ratio (FAR).

(1) Shall not exceed forty percent in addition to 500 square feet for a garage or carport.

(2) Upon approval of a discretionary design review application pursuant to section 40.04A.090 of this chapter, the floor area ratio may exceed the standard set forth in section 40.04A.060(j)(1) above.

40.04A.070 Parking.

(a) Number of parking spaces required.

(1) Single-family dwelling. For dwellings that contain four or fewer bedrooms, one covered and one uncovered off-street parking space shall be required. For each additional bedroom over four in a dwelling, one additional parking space shall be required. For purposes of calculating

bedrooms, bedrooms in a guest house shall be included.

(2) Duplexes and two single-family detached dwelling units on one lot. For dwellings containing three or fewer bedrooms, one covered and one uncovered off-street parking space shall be required. For each additional bedroom over three, one additional parking space shall be required.

(3) Secondary Dwelling Unit. One additional parking space shall be required for each bedroom in a secondary dwelling unit in accordance with section 40.25.070 of this chapter. If the parking required for the primary residence has been fully provided for, the secondary dwelling unit parking requirement shall be reduced by one space.

(4) Off-street parking shall be required for all other uses, as provided in article 40.25 of this chapter.

(b) Number of parking spaces: exception. Notwithstanding the parking requirements established in this section or elsewhere in this chapter, the parking space requirement for lots in Old North Davis may be reduced by one parking space, and such space may be reserved and maintained as landscaping so long as such landscaping does not include trees or other semi-permanent plantings if all of the following criteria are satisfied:

(1) The maximum lot width is 50 feet;

(2) The parcel adjoins an alley;

(3) There is no more than one single family residence and one secondary dwelling unit; and

(4) The lot does not have a curb cut or driveway from the street-site frontage.

(c) On any lot, the Planning Commission may approve a design review application to reduce the number of required parking spaces with a finding that the reduction is needed to protect a significant historic building element or landscape feature.

(d) Development and maintenance of parking spaces.

(1) Parking spaces shall be developed and maintained in accordance with section 40.25.100 of this chapter, except that alternate surfacing materials and methods that further the goal of limiting hard surface paving will be encouraged and approved in accordance with section 40.04A.090 of this article.

(2) When covered parking is required, trellises may be used to cover a parking space. If a detached trellis is used to meet covered parking requirements, the side yard setback for the trellis may be reduced to zero through the design review process as specified in section 40.04A.090 of this chapter, so long as all building requirements have been met and the trellis is no greater than the minimum size needed to cover one parking space.

40.04A.080 Special Exceptions for existing legal non-conforming structures.

The provisions elsewhere in this article and in article 40.28 of this chapter shall apply to all existing legal non-conforming uses and structures except as follows:

(a) Conversion of non-habitable accessory structures. The Planning Commission may grant a use permit in accordance with section 40.04A.040 of this article to allow a legal, non-conforming, non-habitable accessory structure to be converted to habitable space, providing findings as provided for in section 40.04A.040 of this article are adopted and further that any changes to the structure are approved in accordance with section 40.04A.090 and article 40.31 of this chapter.

(b) Replacement of damaged or destroyed legal non-conforming structures. Notwithstanding section 40.28.110 of this chapter, up to one hundred percent of a legal non-conforming structure damaged up to one hundred percent of its then appraised value for tax purposes, exclusive of the

foundations at the time of damage, may be restored or rebuilt as it was before the damage, without expansion, provided that substantial construction shall commence within eighteen months of the damage or destruction.

40.04A.090 Design Review.

Site plan and architectural approval shall be required for all applicable activities and projects as specified within the adopted "Davis Downtown and Traditional Residential Neighborhoods Design Guidelines" and in accordance with articles 40.13A, 40.31 and 40.39 of this chapter.

SECTION 2. The parcels currently zoned Residential One and Two Family (R-2) Districts labeled within the Downtown and Traditional Neighborhood Overlay District as Old North Davis and Old East Davis and identified on the attached map are hereby zoned RESIDENTIAL ONE AND TWO FAMILY CONSERVATION DISTRICT (R-2 CD).

SECTION 3. Effective Date. This ordinance shall become effective on or after the thirtieth day following its adoption.

SECTION 4. Findings. The City Council hereby finds the following:

- A. The proposed ordinance is in general conformance with the City's General Plan.
- B. The public necessity, convenience and general welfare require the adoption of the proposed ordinance.
- C. The proposed ordinance will help implement the policies and guidelines of the Davis Downtown and Residential Neighborhood Overlay Zoning District and the adopted DTRN Design Guidelines.
- D. Negative Declaration #22-02 has been prepared, and the proposed ordinance will not have a significant negative impact upon the environment.

INTRODUCED ON December 9, 2003, and PASSED AND ADOPTED by the City Council of the City of Davis on _____ 2003, by the following vote:

AYES:

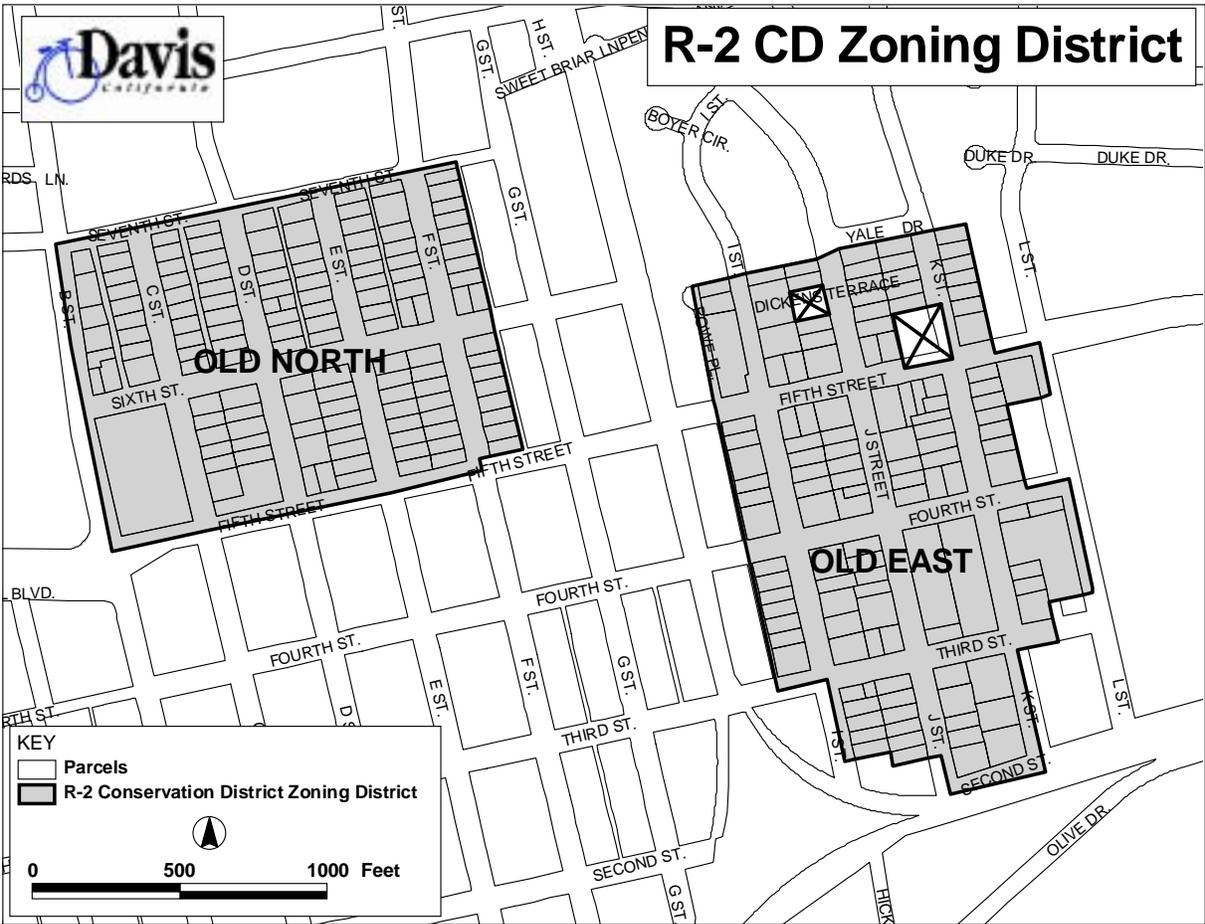
NOES:

ABSENT:

Susie Boyd
Mayor

ATTEST:

Bette E. Racki, City Clerk



Article 40.04

RESIDENTIAL ONE AND TWO FAMILY
(R-2) DISTRICTS

Sections:

- 40.04.010 Purpose.
- 40.04.020 Permitted uses.
- 40.04.030 Accessory uses.
- 40.04.040 Conditional uses.
- 40.04.050 Height regulations.
- 40.04.060 Area, lot width and yard requirements.
- 40.04.070 Special conditions.

40.04.010 Purpose.

The purpose of a residential one and two family (R-2) district is to stabilize and protect the residential characteristics of the district and to promote and encourage a suitable environment for family life. The R-2 district is intended for residences and community services appurtenant thereto. (Ord. No. 296, § 9.1.)

40.04.020 Permitted uses.

The principal permitted uses of land in an R-2 district are as follows:

- (a) Up to two single-family dwellings per lot. If two single-family dwellings are located on one lot, they shall be exempt from the requirements of sections 40.04.060(a) and 40.04.060(b) of this chapter.
- (b) Duplex or two-family dwellings.
- (c) Agriculture, except the raising of animals or fowl for commercial purposes, or the sale of any products at retail on the premises.
- (d) Family and group day care homes as defined in section 40.26.270.
- (e) Group care homes with six or fewer clients, subject to the provisions of section 40.26.135. (Ord. No. 296, § 9.2; Ord. No. 316, § 4; Ord. No. 1123, § 2; Ord. No. 1198, § 1 (part); Ord. No. 1787, § 4.)

40.04.030 Accessory uses.

The following accessory uses are permitted in an R-2 district:

- (a) Commercial residential use with five or fewer adult residents.
- (b) Home occupations subject to the provisions of sections 40.04.010 and 40.26.150.
- (c) Swimming pools, subject to the provisions of section 40.26.350.
- (d) Signs, subject to the regulations of section 40.26.020.
- (e) Other accessory uses and accessory buildings customarily appurtenant to a permitted use, subject to requirements of section 40.26.010. (Ord. No. 296, § 9.3; Ord. No. 875, § 4; Ord. No. 1357, § 8; Ord. No. 1419, § 5.)

40.04.040 Conditional uses.

The following conditional uses may be permitted in an R-2 district:

- (a) Public and quasi-public buildings and uses of a recreational, educational, cultural or public service type, including public utility, but not including corporation yards, storage or repair yards, warehouses and similar uses.
- (b) Hospitals, churches and other religious and eleemosynary institutions, subject to the provisions of section 40.26.160.
- (c) Temporary tract offices, subject to the provisions of section 40.26.360.
- (d) Nursery schools and day care centers, subject to the provisions of section 40.26.270.
- (e) Multiple dwellings meeting the area, lot width, open space, yard, parking, special conditions and height limitations applicable within the R-3-L district.
- (f) Commercial residential uses which do not qualify as permitted or accessory uses.
- (g) For the purpose of setback determination, a converted attic space shall have the same setbacks as the story directly below it in all residential districts.
- (h) No exterior changes to the existing roofline of the structure shall be allowed except for the provision of egress windows or doors in compliance

with Uniform Building Code (UBC). Any dormers or similar structures provided to comply with the UBC required egress windows, shall not exceed the minimum size necessary to obtain the required egress.

(i) No attic conversion shall be allowed if one of the following occurs:

(1) The maximum stories allowed in the district have been achieved;

(2) The number of stories that can be built on a lot are restricted (usually, restricted to one-story building).

(j) If no restrictions apply and the maximum stories allowed in the district have not been achieved, a building permit only would be required for the attic conversion.

(k) Group care homes with more than six clients, subject to the provisions of section 40.26.135. (Ord. No. 296, § 9.4; Ord. No. 377, § 9; Ord. No. 396, § 1; Ord. No. 527, § 2; Ord. No. 805, § 1; Ord. No. 1357, § 9; Ord. No. 1786, § 2 (part); Ord. No. 1787, § 5.)

40.04.050 Height regulations.

No principal building shall exceed two stories or thirty feet in height. No accessory building shall exceed one story or fifteen feet in height, except as provided in section 40.27.030. (Ord. No. 296, § 9.5; Ord. No. 1786, § 1 (part).)

40.04.060 Area, lot width and yard requirements.

The following minimum requirements shall be observed, except where increased for conditional uses or as provided in sections 40.27.040 to 40.27.070:

(a) **Lot area.** Single-family, seven thousand square feet corner lots and six thousand square feet interior lots.

(b) **Lot width.** Single-family, sixty-five feet corner lots and fifty-five feet interior lots.

(c) **Usable Open space.** Single-family, twenty percent lot area. Two family, twenty percent lot area.

(d) **Lot coverage.** Forty percent.

(e) **Front yard.** Twenty feet, except as provided in section 40.27.050 and projections as permitted in section 40.27.060.

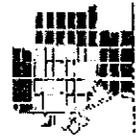
(f) **Side yards.** The requirements shall be the same as in the R-1-6 district.

(g) **Rear yard.** The requirements shall be the same as in the R-1-6 district. (Ord. No. 296, § 9.6; Ord. No. 329, § 2; Ord. No. 354, § 1; Ord. No. 487, § 1; Ord. No. 594, §§ 1, 2; Ord. No. 690, § 1.)

40.04.070 Special conditions.

(a) Site plan and architectural approval by the community development director or his/her designee shall be required of all conditional uses except commercial residential uses as provided in section 40.04.040(f).

(b) Off-street parking shall be required for all uses, as provided in sections 40.25.010 to 40.25.120. (Ord. No. 296, § 9.7; Ord. No. 1419, § 6; Ord. No. 1627, § 5.)



Part 3: Traditional Residential Neighborhoods



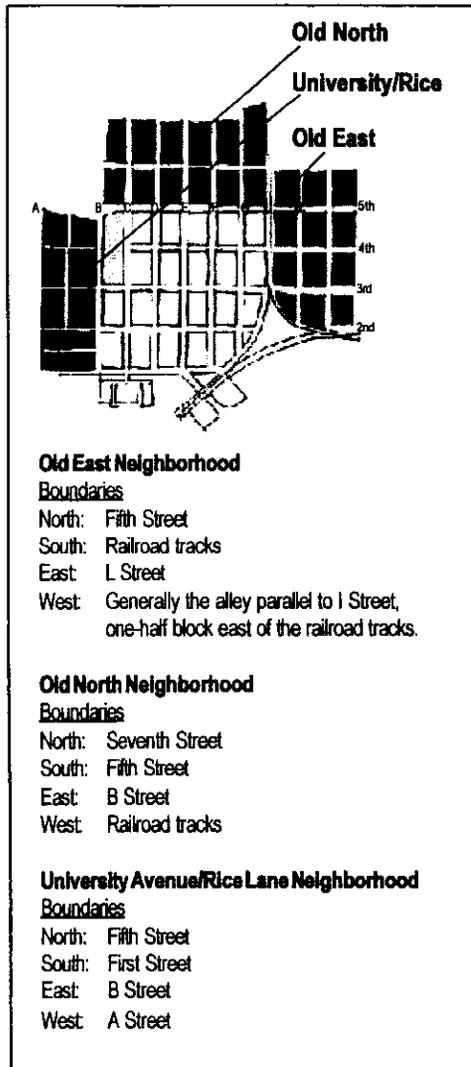
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ATTACHMENT 4

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Part 3: Traditional Residential Neighborhoods

Introduction



Bordering Davis' downtown commercial and mixed-use areas are three traditional residential neighborhoods: Old East, Old North and University Avenue/Rice Lane. While these neighborhoods differ from each somewhat by variations in lot layout, streetscape design and architecture, they all have in common a traditional residential character for which general residential guidelines can be applied in context.

Identifying a neighborhood as part of a conservation district recognizes that there is an identifiable visual and emotional character to an area that should be respected. These guidelines attempt to identify the basic fundamental characteristics of the traditional residential neighborhoods and provide guidance with respect to neighborhood context and basic design elements. Characteristics upon which to draw include the way in which a building is located on its site, the manner in which it relates to the street, and its basic mass, form and materials. When these design variables are arranged in a new building to be complementary to those seen traditionally in the area, visual compatibility results.

The last section in Part 3, includes specific neighborhood descriptions, as well as points to consider when applying the guidelines and case studies that illustrate how the guidelines can be used to develop new, compatible projects.



Site Design: Streetscape

STREETScape

OPEN SPACE

BUILDING
LOCATION

DRIVEWAYS
& PARKING

LANDSCAPE

ALLEYS
& SERVICE
AREAS

1 Maintain the traditional landscape character and sidewalk design of the existing streetscape pattern.

The existing streetscape pattern, including detached sidewalks which are separated from the street by planting strip and mature large-canopy trees that line the street, is one of the most character defining aspects of the residential neighborhoods in traditional Davis and contributes to the area's inviting atmosphere.

A Separate sidewalks from the curb with a planting strip.

- Existing detached sidewalks and planting strips shall be retained.
- New sidewalks shall be detached from the curb, similar to existing, with planter strips provided to accommodate street tree planting.

B Continue the use of traditional paving patterns and materials when repairing or replacing a sidewalk or curb.

- Concrete used for new sidewalks should be dyed, textured or scored to match that of original sidewalks in the neighborhood.
- The sidewalk pattern originally installed by WPA programs in several residential neighborhoods should be continued to the extent possible.

C Protect and maintain vegetation in the planting strips.

- Avoid replacing planted areas with hard and/or impervious surfaces. Consider using stepping stones placed in the grass if a walking surface is needed.
- Protect established vegetation during construction to avoid damage.

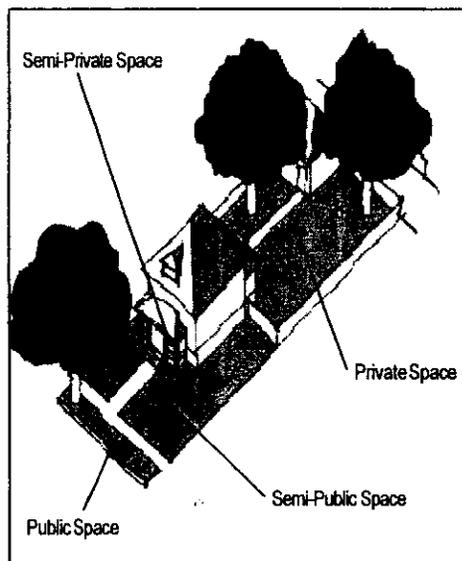
D Continue the pattern of street trees in a block.

- Existing street trees shall be preserved whenever possible. See the City's Tree Preservation regulations for specific requirements.
- Replace damaged or diseased trees with a species that is similar in character or form to those used historically.
- Street trees shall be required with new development.



A gap in the rhythm of street trees should be filled, when feasible.

Site Design: Open Space



Respect the established hierarchy of public and private spaces.

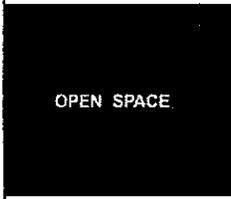


A sequence of spaces leads from the street to the porch of a traditional house. This feature should be continued.

1 Maintain the established progression of public to private spaces.
The hierarchy of public and private spaces is a progression that begins at the street, which is the most "public" space; proceeds through the front yard, which appears "semi-public"; continues to a porch which is "semi-private"; and ends at the front door, which leads to the "private" space. This sequence enhances the pedestrian environment and contributes to the character of the neighborhoods; it should be maintained.

- A Provide a front yard that is similar in character to neighboring properties.**
- A pathway should be provided leading from the sidewalk to the entry. Perpendicular walkways are encouraged in order to maintain the historic pattern.
 - The front yard shall be predominantly landscaped with plants. Hard surface paving for patios, terraces or drives shall be minimized.
 - Multi-unit housing (where allowed by zoning) shall be oriented to the street in a manner similar to that of traditional single family residences.
- B Fences or hedges may be used to help define the yard.**
- A front yard fence should be short and/or transparent. A maximum height of 42 inches is appropriate in the area between the street and the house.
 - Masonry and solid fences are discouraged.
 - Chain link fences are prohibited in front yards.
 - Contemporary interpretations of traditional fences should be compatible within the neighborhood context.
 - Landscaping along side and rear fences can soften edges as well as protect privacy.

STREETScape



OPEN SPACE

BUILDING LOCATION

DRIVEWAYS & PARKING

LANDSCAPE

ALLEYS & SERVICE AREAS

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STREETSCAPE

OPEN SPACE

BUILDING LOCATION

DRIVEWAYS & PARKING

LANDSCAPE

ALLEYS & SERVICE AREAS

2 Preserve a sense of open space in front, side and rear yards.

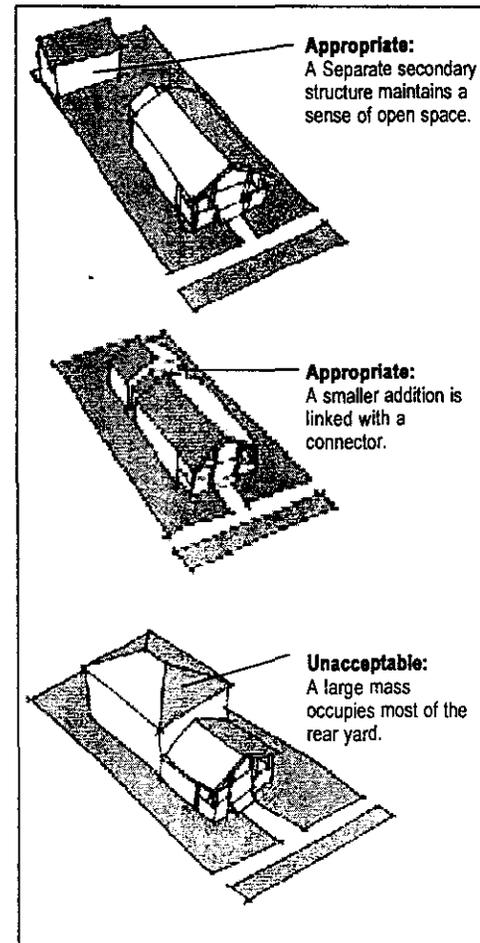
Traditional Davis houses were typically small and centered on a lot with generous front and side yards, resulting in the visual impression of a sense of openness. Application of these guidelines may result in a smaller footprint than zoning allows to ensure a sense of openness on the lot within the context of the neighborhood.

A Preserve the sense of public and private open space through the sensitive placement of building additions and new structures.

- Site the mass of the structure to the rear of the lot to preserve a sense of openness between it and a neighboring property.
- Secondary structures should be placed on the rear portion of a lot along an alley to maximize visible open space on a lot.
- Arrange building forms on a lot to preserve and define private open space.

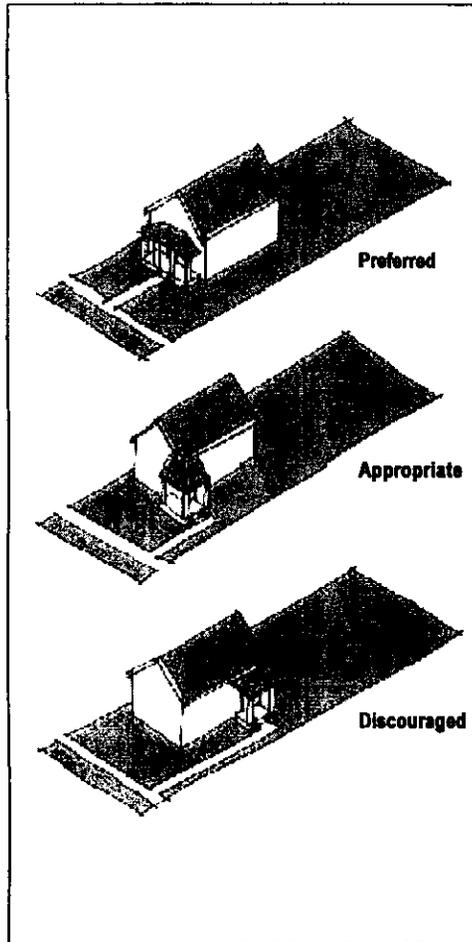


Traditional Davis houses were typically small and centered on a lot.



Alternative massing approaches.

Site Design: Building Location



Alternative approaches for primary entrances.

1 Orient the front of a primary structure to the street.

Traditionally the front entry of a building faced the street and was sheltered by a one-story porch. This helped establish a sense of scale and “animate” the street. In some neighborhoods, entry ways are fairly evenly spaced along a block, creating a rhythm that contributes to the sense of visual continuity. The front porch serves as a transition area from the street to house and is an essential element of the streetscape; it provides human scale to the house; it offers interest to pedestrians; it is a catalyst for personal interaction.

A Orient the primary entry of a primary building to the street.

- All structures should have one primary entry that faces the street.
- Additional entrances may be located to the side or rear.
- Multi-unit structures (where allowed by zoning) should be street oriented.

B Clearly define the primary entrance by using a raised front porch or stoop.

- Orient the front porch to the street.
- The front porch should be functional, used as a means of access to the entry.
- The minimum depth for a usable front porch is typically 6 to 8 feet.
- Stoops should be covered and generously sized to provide a transition area.



Clearly define front entrance by use of raised front porch.

STREETSCAPE

OPEN SPACE

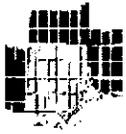
**BUILDING
LOCATION**

DRIVEWAYS
& PARKING

LANDSCAPE

ALLEYS
& SERVICE
AREAS

39



STREETSCAPE

OPEN SPACE

BUILDING
LOCATION

DRIVEWAYS
& PARKING

LANDSCAPE

ALLEYS
& SERVICE
AREAS

2 Provide a sense of visual continuity by aligning the front and sides of a new building with other structures in the neighborhood.

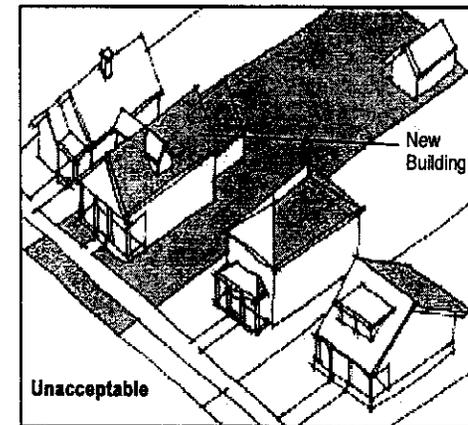
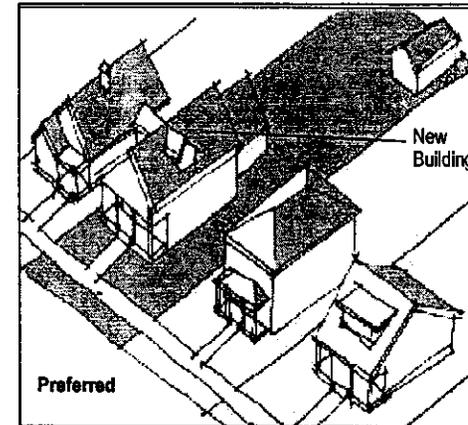
A front yard serves as a transitional space between the "public" sidewalk and the "private" building entry. In many blocks front yards are similar in depth, resulting in a relatively uniform alignment of building fronts, which contributes to a sense of visual continuity. Setback patterns may vary with in each neighborhood and these distinctions should be respected. In the Old East neighborhood, for example, setbacks are more varied. Therefore, maintaining the established range of setbacks that is characteristic of each neighborhood is an objective.

A · When constructing a new building or addition, locate it to fit with the predominant pattern of yard dimensions seen on the block.

- These include front, side and rear setbacks.
- In some areas setbacks vary, such as in Old East, but generally fall within an established range.
- Structures shall be located within an average range of setbacks along the street.

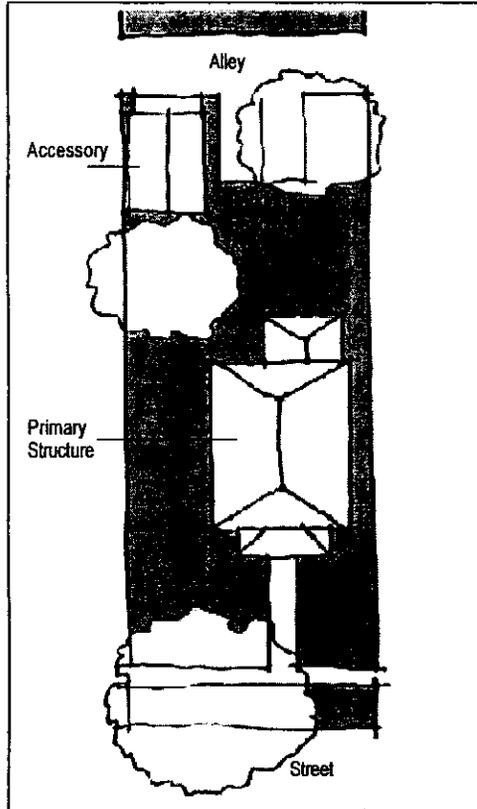


In many blocks building fronts are relatively uniformly aligned.



The house in the bottom drawing is set too far forward on its lot, outside of typical range of setbacks in the neighborhood.

Site Design: Driveways & Parking



For a lot located on an alley, locate parking in a detached garage or carport located near the alley edge and accessed from the alley.

1 Driveways and parking areas shall be subordinate to adjacent residential buildings and shall be accessed from an alley whenever feasible.

In many parts of the traditional residential neighborhoods, parking is a concern. Traditionally, automobile storage and parking areas were subordinate to residential character and accessed from the rear of a lot. Parking patterns in the rear of lots should be maintained whenever feasible.

A Access parking from an alley where feasible, and maintain traditional parking patterns. Three types of on-site parking locations are permitted.

- For a lot on an alley, locate parking in a detached garage or carport near the alley edge and accessed from the alley, or
- For a lot on an alley, locate parking adjacent to a secondary structure and accessed from an alley. A trellis may be used to cover the parking area.
- For a lot not accessible from an alley, locate parking to the rear of the lot with a driveway accessed from the street. A detached garage is preferred. Tandem (front to back) parking in a driveway is acceptable.

B Required parking in a front yard is inappropriate.

- Required parking spaces should be located in the rear half of a building lot.
- Parking should not be located in the front setback. Required parking spaces should not extend beyond the front plane of the primary building.

C An exception in the required number of parking spaces may be considered in order to preserve a feature of public significance.

- Parking for the primary residence shall comply with existing code requirements.
- Consideration may be given toward allowing an exception to parking requirements for second units in order to preserve a feature of public significance, such as a Landmark Tree or Tree of Significance, a historic structure or a substantial mature hedge.

STREETSCAPE

OPEN SPACE

BUILDING
LOCATION

**DRIVEWAYS
& PARKING**

LANDSCAPE

ALLEYS
& SERVICE
AREAS



STREETSCAPE

OPEN SPACE

BUILDING
LOCATION

DRIVEWAYS
& PARKING

LANDSCAPE

ALLEYS
& SERVICE
AREAS

2 Design new driveways and parking areas in a way that minimizes their visual impact.

Large expanses of parking erode open space, alter the character of front and rear yards and diminish the "pedestrian friendly" character of sidewalks and alleys.

A Garages should not dominate the street scene.

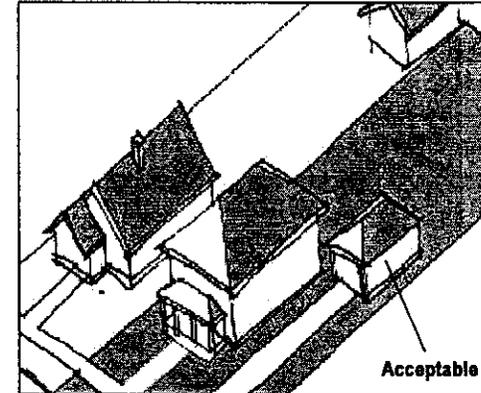
- Minimize the visual impact of a garage by locating it to the rear of a building lot, or along an alley. Traditionally, a garage was sited as a separate structure at the rear of the lot.
- Detached garages are preferred.
- If a garage must be accessed from the street, set it back behind the primary building such that parking will not extend beyond the front plane of the primary building.

B Plan parking areas and driveways in a manner that minimizes the number of curb cuts on the block.

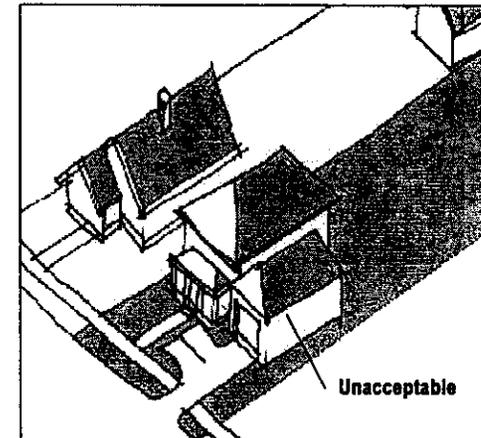
- Avoid new curb cuts whenever possible.
- Shared driveways and curb cuts are encouraged, both with adjacent properties and for multi-unit housing.
- Circular driveways are not appropriate.
- For multi-unit structures (where allowed by zoning) parking in a interior courtyard with a single access point is preferred to multiple driveways.

C Minimize the visual impact of a driveway.

- Minimize the width of a driveway and related curb cuts when it is necessary to access parking from the street.
- Curb cuts should accommodate single-car access.
- Maintain single-car width (10 ft. maximum) until the driveway extends beyond the rear of the primary structure.
- Turf blocks or parking strips are encouraged to minimize the amount of paved surface.

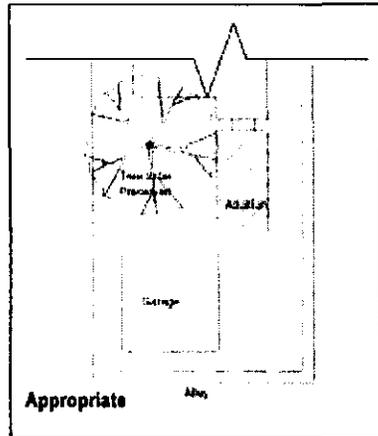


Parking locations for lots without alley access are recommended to the rear of a building, in a driveway or detached garage accessed from the street. The preferred location for parking on these lots is at the rear, close to the rear lot line.

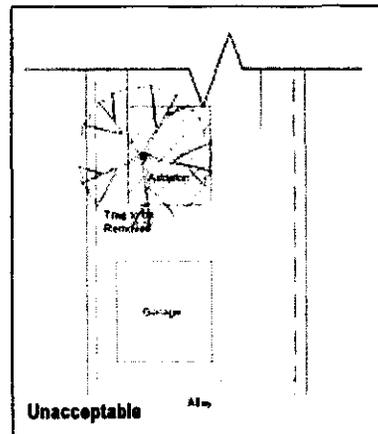


The driveway location and front yard parking spaces inappropriately alters the character of this residence

Site Design: Landscaping



A significant tree is preserved by positioning an addition along one side of the yard.



A significant tree is lost by positioning an addition in the center of the yard.

1 Preserve, to the extent feasible, existing mature trees and in some cases shrubs.

One of the most character defining features of the traditional Davis residential neighborhoods is the presence of significant, mature trees and lush landscaping. Effort should be made to the extent possible to preserve existing significant vegetation.

A The design and siting of a building, impervious surfacing, and related construction activity should take into consideration all existing trees.

- Property owners shall comply with the City's Tree Preservation Ordinance with regard to Landmark Trees or Trees of Significance. A City permit is required for removal or substantial trimming.
- Protect root systems of existing trees by fencing prior to construction and avoiding trenching or soil compaction within the drip line.
- When feasible, locate a new structure outside the drip line of an existing tree.
- Preserve existing mature trees to the extent feasible when considering a lot merger, construction of a secondary structure or major addition.

STREETSCAPE

OPEN SPACE

BUILDING
LOCATION

DRIVEWAYS
& PARKING

LANDSCAPE

ALLEYS
& SERVICE
AREAS

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Site Design: Alleys and Service Areas

STREETSCAPE

OPEN SPACE

BUILDING
LOCATION

DRIVEWAYS
& PARKING

LANDSCAPE

ALLEYS
& SERVICE
AREAS

1 Maintain the traditional character of the alleys.
Alleys accommodate service functions (mechanical equipment, trash containers, and utility boxes) and provide pedestrian connection and secondary vehicle access. In traditional Davis, and particularly Old North, existing alleys function as narrow secondary pathways that have a rural charm, evocative of a country lane. This is due in large part to the typically unpaved surfacing, the mix of small, older style buildings and variety of fencing types located along the alley edges. The character of the alleys is further enhanced as a result of the extensive landscaping at the edges, as well as visible glimpses of open space on lot interiors.

A Maintain the traditional scale and width of an alley.

- Locate buildings and fences near the alley edges to define the narrow width.
- Use plantings, decorative paving and fences to provide visual interest.
- Where possible, adaptive reuse of existing accessory structures is encouraged.

B Screen parking from public view.

- Use a fence, hedge or other landscape device to screen parking whenever possible.
- Trellises may be used to cover parking areas.
- Use landscaping to provide visual relief to the "alley-scape".

C Accommodate service areas and minimize their visual impacts.

- Provide areas for the placement and storage of trash containers.
- Areas for mechanical equipment and services should not be visually obtrusive. Decorative fencing, fence cutouts, and/or landscaping can be used to screen service areas.



Locating buildings and fences along an alley edge will help to maintain its narrow scale, and plantings will help convey a "rural" character.

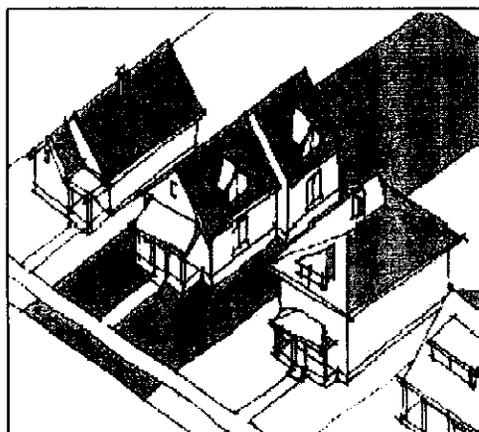


Alleys accommodate service functions and provide pedestrian connections and secondary vehicle access. Provide for their appropriate placement and screening.

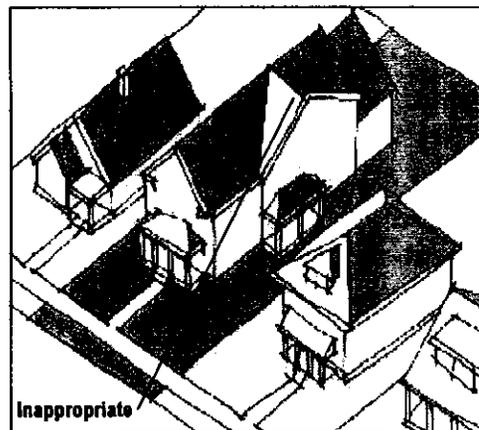
Primary Building Scale and Form: Mass and Scale



MASS & SCALE



A new building should be within the range of heights seen traditionally in the neighborhood. The bottom sketch illustrates a structure too massive for its neighbors.



Inappropriate
Use roof forms and roof pitches that are compatible with other established structures.

1 The mass and scale of a new primary building should appear similar to that of single family structures in the neighborhood.

The mass and scale of a new building is an important design issue in the neighborhoods of traditional Davis. The traditional scale of single family houses enhances the "pedestrian-friendly" character of the streets. To the greatest extent possible, new construction should maintain this smaller more intimate (human) scale and minimize negative impacts on abutting properties. While new buildings may be larger than many of the early houses, the new construction should not be so large that the visual continuity of the neighborhood is compromised. It should be noted that in some circumstances in order for a project to comply with the full intent and provisions of these guidelines it may not be possible to build to the maximum setbacks and footprint coverage allowed in the base zoning.

A Design a front elevation to be similar in scale to those seen traditionally on the block.

- The primary plane of the front should not appear taller than those of typical residential structures in the neighborhood.
- The back side of a building may be taller than the front and still appear in scale if appropriately designed and compatible with the primary structure.
- A new multi-unit structure (where allowed) should not overwhelm existing single family structures.

B Minimize the perceived scale of a building by stepping down its height toward the street and neighboring smaller structures.

- The front wall of a building should not exceed two stories in height.
- Wall heights of 1 to 1 ½ stories are preferred along a street.
- Provide a one story porch or similar element, which will define a front door or entrance and be oriented to the street.
- Livable basements are encouraged provided that they are consistent with other areas of the guidelines and they do not undermine the traditional character of the neighborhood.

BUILDING
FORMS

BUILDING
MATERIALS

ADDITIONS:
CHARACTER
ELEMENTS

ADDITIONS:
MASS & SCALE

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C The primary building face should not exceed the width of a typical single family building in a similar context.

- A single wall plane should not exceed the maximum façade width of a typical residence. If a building is wider overall than those seen typically, divide the large façade into subordinate wall planes that have dimensions similar to those of traditional single family buildings in the neighborhood.

D Break up the perceived mass of a building by dividing the building front into “modules” or into separate structures that are similar in size to buildings seen traditionally in the neighborhood.

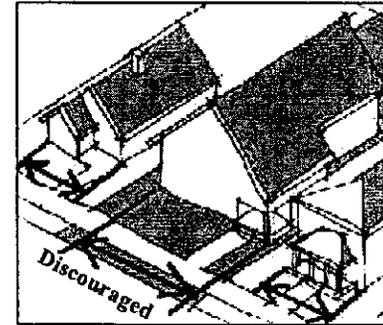
- Use a ratio of solid to void (wall to window) as seen from the public way that is similar to that found on traditional single family structures.
- Dividing the total building mass into separate structures is encouraged.
- Include landscape elements, such as fences and walkways, similar in scale to those seen traditionally.

E If a garage door is to be incorporated, design it to minimize its visual impacts.

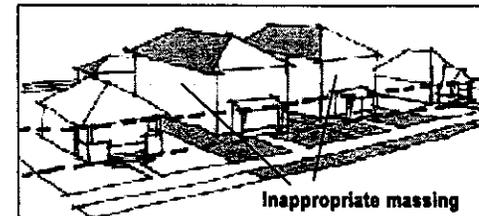
- In general, the door pattern should blend with the façade and architectural elements.
- Consider using patterns (horizontal bands) or windows that are compatible with those used on the primary structure.

F Locate doors and windows to respect the privacy of neighboring properties to the extent possible.

- Windows and doors should not be located on elevations that are directly adjacent to a neighboring property when possible.
- Where windows may overlook a neighbors property means to preserve privacy should be utilized such as locating windows above typical eye level, or utilizing an opaque or glazed type of coating (glass).
- Care should be taken that location of an exterior landing and entry door does not significantly impact the privacy of neighboring properties.



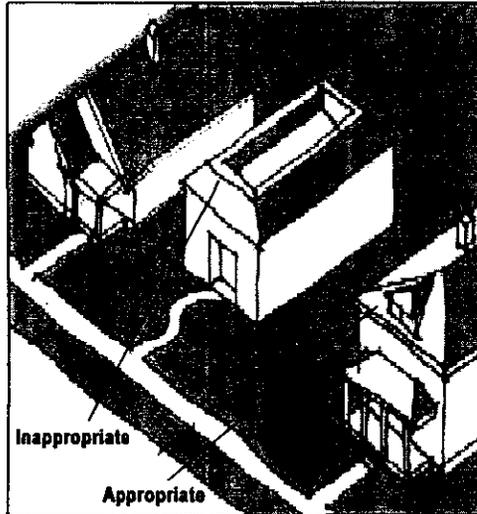
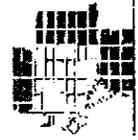
The primary face of a structure should not exceed the width of a typical residence.



Dividing total building mass into separate structures is encouraged. The top illustration shows inappropriate massing while the bottom shows how building mass can be broken into separate elements.

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Primary Building Scale and Form: Building Forms



The repetition of similar building and roof forms contributes to a sense of visual continuity. Exotic roof shapes that would disrupt this feature are inappropriate.

1 Use building and roof forms that are similar to those seen traditionally.

A similarity of building and roof forms contributes to a sense of visual continuity along a block. In order to maintain this feature, a new building should have a basic roof and building forms that are similar to those seen in the neighborhood. "Exotic" building and roof forms that would disrupt this pattern are inappropriate.

A Use building forms that are similar to those seen traditionally.

- Simple rectangular solids are typically appropriate.
- Raised foundations are preferred. Finished floor heights should be within the range typically seen in the neighborhood.
- "Exotic" building and roof forms that would detract from the visual continuity of the streetscape are discouraged. Examples include geodesic domes and A-frames.

B Use roof forms that are similar to those seen in the neighborhood.

- Sloping roofs such as gabled and hipped are preferred for primary roof forms.
- Shed roofs are appropriate for some additions.



Sloping roofs such as gable, hipped and shed roofs are preferred.



MASS & SCALE

BUILDING
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BUILDING
MATERIALS

ADDITIONS:
CHARACTER
ELEMENTS

ADDITIONS:
MASS & SCALE

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Primary Building Scale and Form: Building Materials

MASS & SCALE

BUILDING
FORMS

BUILDING
MATERIALS

ADDITIONS:
CHARACTER
ELEMENTS

ADDITIONS:
MASS & SCALE

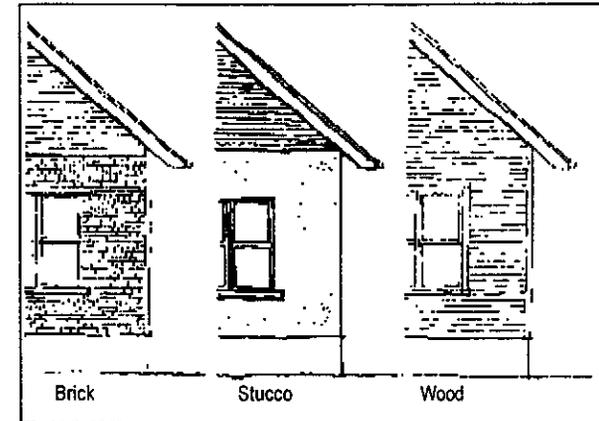
1 The main building material should appear similar to that used traditionally on single family houses.
Building materials of new structures and additions should contribute to the visual continuity of the neighborhood. While new materials may be considered, they should not vary extensively from those seen traditionally so as to create a jarring juxtaposition.

A Brick, stucco and painted wood are suggested primary building materials.

- Painted wood lap siding and shingles are appropriate.
- Stucco may be considered when it is detailed, such as wood trim around windows and doors.
- A much wider range of secondary and trim materials can occur (wood, glass, metal, synthetics, etc.)
- Innovative or "green" materials are encouraged provided that they contribute to the visual continuity of the neighborhood.

B Roof materials should appear similar in scale and texture to those found traditionally.

- Wood, high-quality composition shakes and tile are appropriate roofing materials.
- Metal roofs are not appropriate on primary structures.

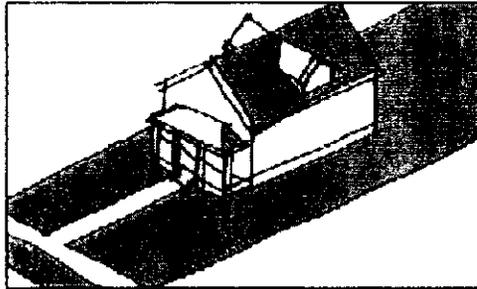


Brick, stucco and painted wood are appropriate primary building materials.



Painted wood lap siding and wood shingles are appropriate materials.

Primary Building Scale and Form: Additions: Character Elements



In some cases, adding vertically, through construction of dormers, will help to minimize the impacts of additions and preserve rear yards.



1 Design an addition to complement the existing character of a building.
Additions to existing houses are anticipated. When they occur, they should be designed to respect the character of the main building and to minimize impacts on abutting properties. When constructing an addition, use materials, windows and doors that are compatible with those of the original building. All guidelines under "Mass & Scale" and "Building Forms" apply for additions. Special guidelines in the two sub-sectors on "Additions" are intended to highlight the specific issues that must also be considered when adding onto an existing building.

A Adaptive reuse of existing buildings is strongly encouraged.

B An addition should not strongly alter the perceived character of the original building.

- Use materials, windows and doors, that are compatible with those of the original building, capable of existing together without conflict or detrimental effects.
- Use a roof form on an addition that is compatible with the primary structure.

C The roof form of the new addition should be in character with that of the original building.

- In some cases, adding vertically through the construction of dormers will help to minimize the impacts of addition and preserve rear yards.
- When adding a dormer to an existing roof, it should be subordinate to the overall roof mass and in scale with those that may have been used originally in the neighborhood.

MASS & SCALE

BUILDING FORMS

BUILDING MATERIALS

ADDITIONS:
CHARACTER ELEMENTS

ADDITIONS:
MASS & SCALE

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MASS & SCALE

BUILDING FORMS

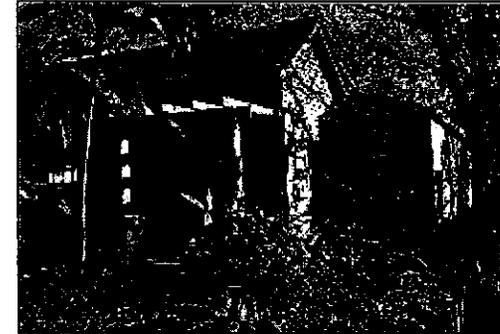
BUILDING MATERIALS

ADDITIONS:
CHARACTER
ELEMENTS

ADDITIONS:
MASS & SCALE

D For an existing structure that is listed as a historically significant property, design a new addition such that the evolution of the building can be interpreted.

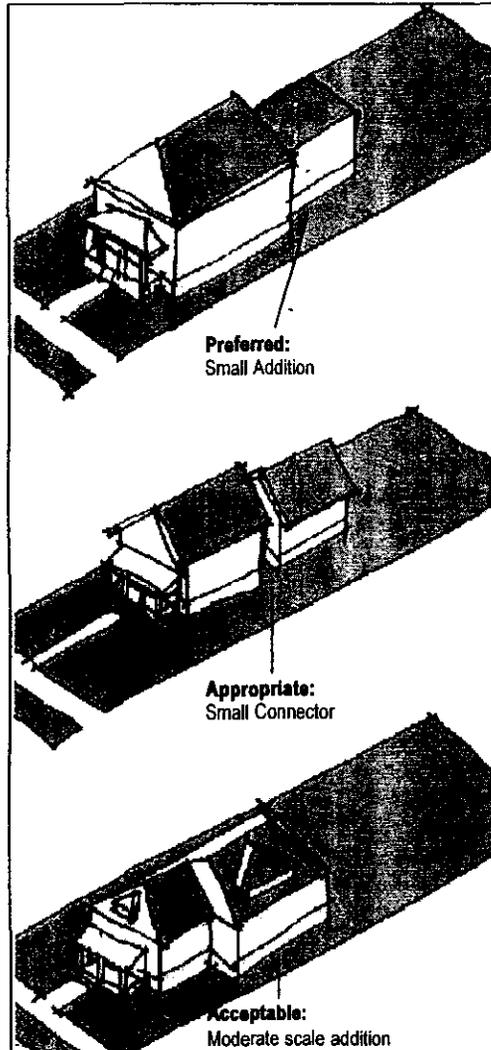
- An existing structure that is listed as a historic property should be preserved.
- An addition should be made distinguishable from the historic building in subtle ways, such that the character of the original can be interpreted. A change in setbacks from the historic building, a subtle differentiation in styles, or the application of a new trim board at the connection point are all techniques that may be considered.
- Creating a jog in the foundation between the original and the new may also establish a more sound structural design while helping to define the later addition.



Alternative approaches to building additions.

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Primary Building Scale and Form: Additions: Mass and Scale



Alternative approaches to building additions.

1 A new addition should be compatible in size and scale with the main building and of the neighborhood.

Existing structures in the three residential neighborhoods are typically small in size and scale as compared to homes that have recently been built in newer neighborhoods. This smaller scale and the resulting sense of open space are significant parts of the charm and appeal of these neighborhoods. Therefore, additions should be designed to preserve the perceived scale and proportion of existing structures to the extent possible. Also, effect of the new addition on the character and rhythm of the street as seen from the public right-of-way should similarly be considered.

A A new addition should respect the mass and scale of the main building.

- Keep the mass visually subordinate to the original building.
- If it is necessary to design an addition that is taller than the original structure, set it apart from significant facades and use a "connector" to link it.
- In some cases, adding a combination of spaces vertically and horizontally will minimize the visual impacts and preserve more of the rear yard. An example would be to add dormers to the rear, providing additional floor area while maintaining the original scale at the front.

B Site the addition to minimize visual impacts on the street and on adjacent properties.

- Place an addition at the rear of a building or set it back from the front to minimize the visual impacts.
- Locate a rooftop addition back from the building front when feasible.
- Consideration of the existing rhythm of setbacks and spaces (front, side, rear) should be evaluated with any new addition.

MASS & SCALE

BUILDING
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ELEMENTS

ADDITIONS:
MASS & SCALE



Secondary Structures: Site Design

SITE DESIGN

BUILDING
FORMS

BUILDING
MATERIALS

ADDITIONS:
CHARACTER
ELEMENTS

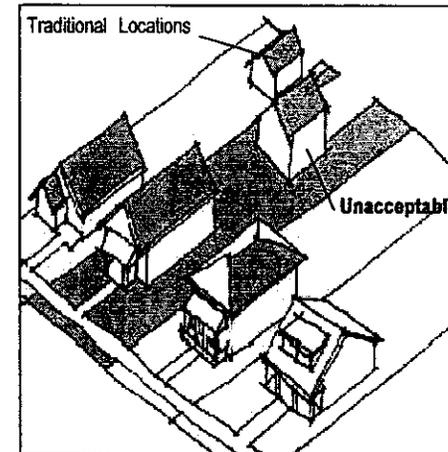
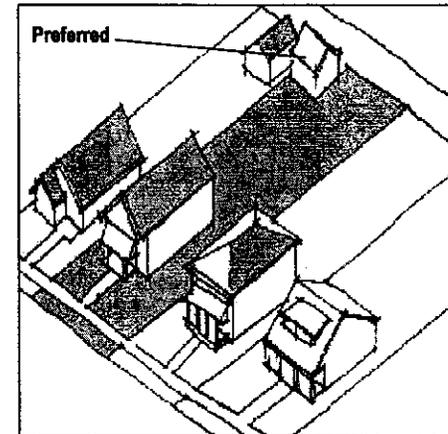
ADDITIONS:
MASS & SCALE

1 Locate a secondary structure to the rear of the lot, and along an alley when feasible.

Secondary structures include a range of accessory buildings such as garages and sheds, as well as accessory units as permitted by zoning. Traditionally, secondary structures were subordinate in scale and character to the primary structure and were located to the rear of the lot. The use of detached secondary structures to provide additional living space can be appropriate as a way to reduce the overall perceived building mass on a site. For the same reason, detached garages are preferred.

A Locate a secondary structure at the edges of the building lot in a traditional manner while providing adequate setbacks to minimize impacts on abutting properties.

- On lots accessible from an alley, a one-story residential structure may be located at the alley edge, although a 5-foot setback is preferred to allow for landscaping.
- On lots accessible from an alley, garages should be set back 5 feet from the alley edge to provide adequate turning and backing-out area. A turning radius diagram may be necessary in some cases.
- On lots not located on an alley, one-story residential structures and garages should be set back a minimum of 5 feet from the rear lot line.
- Whenever possible, new secondary structures should be located next to an adjacent secondary structure in order to provide a sense of openness on the remaining portion of a lot and adjacent lots. In these cases, the minimum setbacks possible between structures would be encouraged.
- When considering two-story secondary structures through the Conditional Use Permit review process, the second story should be set back a minimum of 10 feet from the rear property line. Evaluation of the minimum side setback will be considered in context of the existing situation.



Locating a secondary structure in the center of the rear yard will reduce the amount of outdoor livable space and is therefore discouraged



SITE DESIGN

BUILDING
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BUILDING
MATERIALS

ADDITIONS:
CHARACTER
ELEMENTS

ADDITIONS:
MASS & SCALE



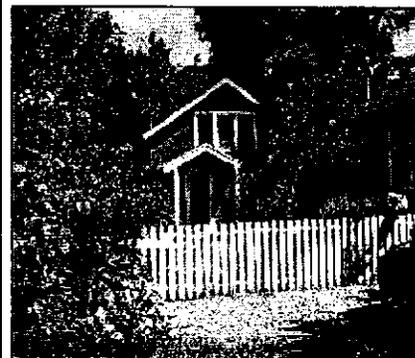
Small second unit with door oriented to interior site.

B Locate doors and windows on a secondary structure in such a way as to respect the privacy of neighboring properties to the extent possible.

- Windows and doors should not be located on elevations that are directly adjacent to a neighboring property when possible.
- Where windows may overlook a neighbors property, measures to preserve privacy should be utilized such as locating windows above typical eye level, or utilizing an opaque or glazed type of coating (glass). Window to window orientations shall be avoided.
- Care should be taken that the location of an exterior landing and entry door does not significantly impact the privacy of neighboring properties.



Locate doors and windows to the interior of a property rather than on elevations that are directly adjacent to a neighboring property.



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Secondary Structures: Mass and Scale

MASS & SCALE

MASS & SCALE

BUILDING
MATERIALS

ADDITIONS:
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ELEMENTS

ADDITIONS:
MASS & SCALE

1 A secondary structure should be similar in mass, scale and height to those seen traditionally in the neighborhood. *In general, an accessory structure should be unobtrusive and not compete visually with the main house.*

A Adaptive reuse of existing secondary structures is encouraged, when feasible.

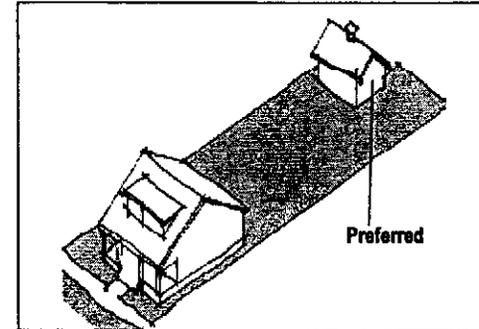
- A historic accessory structure should be retained to the extent possible.

B A new secondary structure should respect the mass and scale of the primary structure.

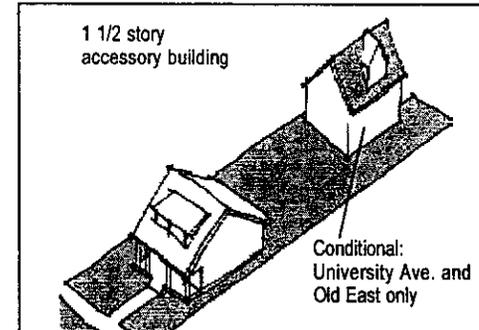
- Secondary structures no more than 15 feet in height are preferred in Old East. In the Old North and University Ave/Rice Lane neighborhoods, secondary structures are limited to a maximum of 15 feet in height and 480 sq. in in total area.
- Secondary structures taller than 15 feet require special discretionary approval in Old East. Impact to alley character and/or to adjacent properties will be considered.
- Divide the mass of a larger alley structure into modules to reduce its perceived scale.
- A secondary structure should have a one-story element where visible to public view.

C A secondary structure should relate to the general architectural character of the primary building in mass, scale, form and material.

- Basic rectangular forms with hip, gable or shed roofs are generally appropriate.
- Contemporary interpretations of traditional accessory structures are appropriate when they are compatible within the general context of the area.
- While the roofline does not have to match that of the main house, it is best that it not vary significantly.



Locating a one-story secondary structure near the rear of the lot is encouraged.



New secondary structures should be subordinate to the primary structure and should be located at the rear property line. Structures over 15' in height may be considered in Old East and University Avenue neighborhoods.



Many alleys have a rural 'country lane' character.

D A secondary structure in the Old North should reflect the small scale of the neighborhood and rural country lane character of the alley.

- A secondary structure in the Old North neighborhood is limited to a maximum height of 15 feet.
- Low eave heights parallel to the rear lot line and alley is preferred.
- Buildings with open gable ends facing the rear and front lot lines are also acceptable.
- Secondary buildings should not exceed 480 square feet of gross floor area.
- Fences along the alley should not exceed 6-feet in total height. The top 24" is encouraged to be a "see-through" element that provides partial screening while adding interest.
- See the Old North case study.



Low eave heights parallel to the rear lot line and alley is preferred.



MASS & SCALE

MASS & SCALE

BUILDING MATERIALS

ADDITIONS:
CHARACTER ELEMENTS

ADDITIONS:
MASS & SCALE

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Secondary Structures: Building Materials

OLD EAST

OLD NORTH

UNIV. AVE/
RICE LANE

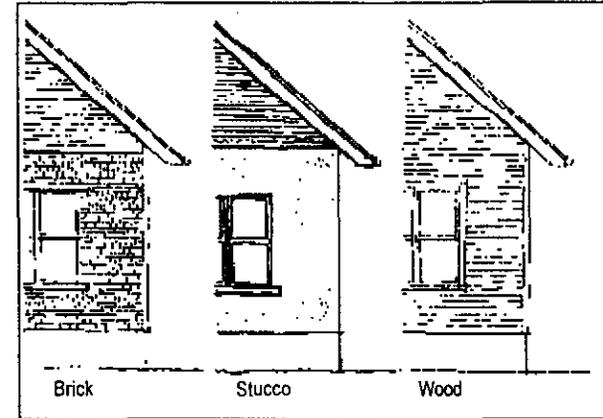
1 The main building materials should appear similar to that used traditionally on single-family houses. *Building materials of new structures and additions should contribute to the visual continuity of the neighborhood. While new materials may be considered, they should not vary extensively from those seen traditionally so as to create a jarring juxtaposition.*

A. Brick, stucco and painted wood are suggested primary building materials.

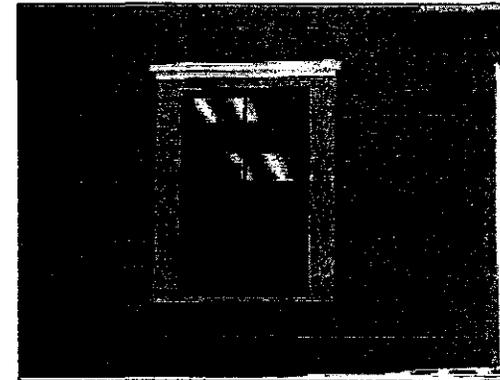
- Painted wood lap siding and shingles are appropriate.
- Stucco may be considered when it is detailed, such as with wood trim around windows and doors.
- A much wider range of secondary and trim materials can occur (wood, glass, metal, synthetics, etc.)
- Innovative or "green" materials are encouraged, provided that they contribute to the visual continuity of the neighborhood.

B. Roof materials should appear similar in scale and texture to those found traditionally.

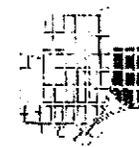
- Wood, high-quality composition shakes and tile are appropriate roofing materials.



Brick, stucco and painted wood are appropriate primary building materials.



Applying the Guidelines: Old East Neighborhood



Key Features

Streetscape character:

- street trees and planting strips
- wide streets with WPA-style sidewalks

Traditional architecture:

- sloped gable roofs
- porches and front doors facing the street
- a central mass broken by horizontal and vertical elements
- low-scale front yard fences, natural materials
- raised foundations
- house predominant, garage secondary

Site patterns:

- mix of lot sizes with open feeling
- houses in proportion with lot sizes
- large postwar apartment buildings intermingled with traditional homes

Architectural diversity:

- bungalows and cottages
- period farmhouses and homes
- postwar apartments

The residential area east of the downtown Commercial Core and the railroad tracks has most of the city's oldest existing residential structures. Here, representatives of both simple vernacular cottages and bungalows and Victorian period homes lend a distinctive character to the neighborhood. Old East has traditionally possessed a mix of lot sizes. The neighborhood's old farmhouses, several of which still exist, were once surrounded by open land. It is on those large open parcels that new small ranch houses and large postwar apartment houses apartment complexes were built in a manner characteristic of urbanization in rural California. Old East is currently zoned R-2, one- and two-family residential.

Design Objectives

To maintain the traditional scale and character of the Old East neighborhood and reflect its traditional "farmhouse" heritage, while accommodating new, compatible infill development.

Applying the General Residential Guidelines:

- Building setbacks in this area should be varied to reflect traditional setback patterns. The front set back for a new building should be within the range of traditional structures on the block. Typical setbacks range from 15 to 30 feet.
- On blocks where non-traditional structures exist, projects should be planned to be compatible with the traditional neighborhood building style. Proposals to remodel non-traditional structures should include plans to utilize as many guidelines as possible to improve compatibility with the traditional building stock.



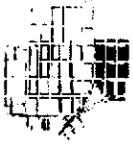
These three infill duplex developments are out of scale for the traditional Old East Davis neighborhood.

OLD EAST

OLD NORTH

UNIV. AVE/
RICE LANE

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Case Study: Old East Neighborhood

OLD EAST

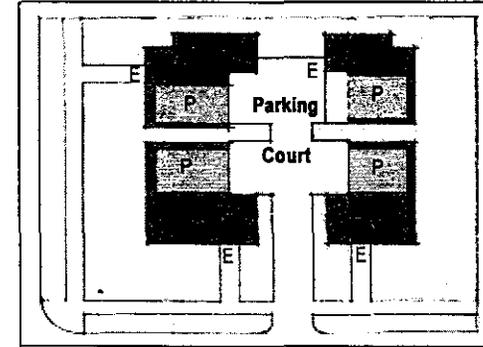
OLD NORTH

UNIV. AVE/
RICE LANE

How might the design guidelines affect the outcome of an improvement project in the neighborhood? A theoretical case study presented on this and the following page illustrates the application of the guidelines for the Old East neighborhood in combination with the general guidelines for residential neighborhoods.

Characteristics:

- The mass of the development is divided into four distinct modules.
- Roof forms help reduce the perceived mass of the buildings.
- Four units are arranged in a cluster.
- Parking is located in the interior, in a parking court, which minimizes visual impacts and helps create an open feeling typical to the neighborhood.



P Parking
E Porch Entry

Features:

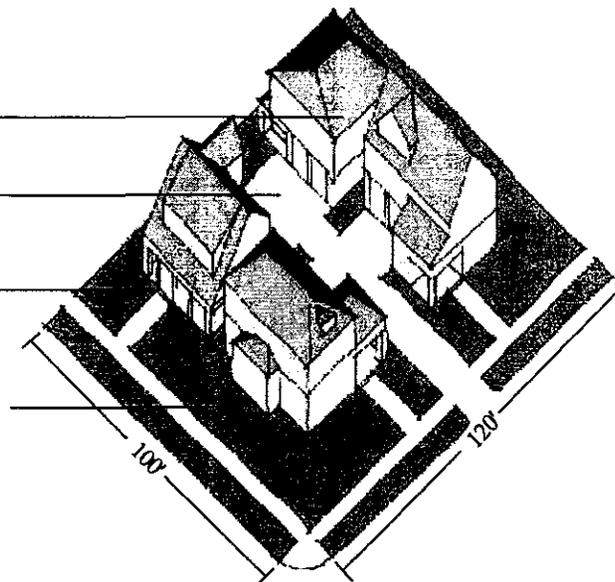
- Four units (approx. 1,000 square feet each)
- Double Lot
- R-2 setbacks (20' front and rear)
- Individual street-facing porches
- Massing expressed as four houses
- Two covered parking spaces per unit
- Building mass similar to the traditional neighborhood

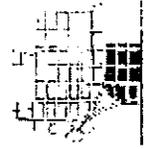
Variety of Roof Forms

Parking Court

Street-Oriented Entry Porches

15'-20' Side and Front Yard Setbacks



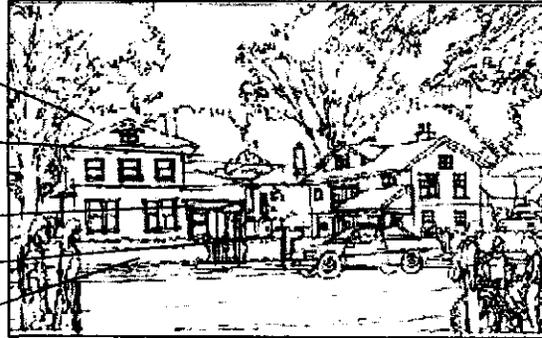


OLD EAST

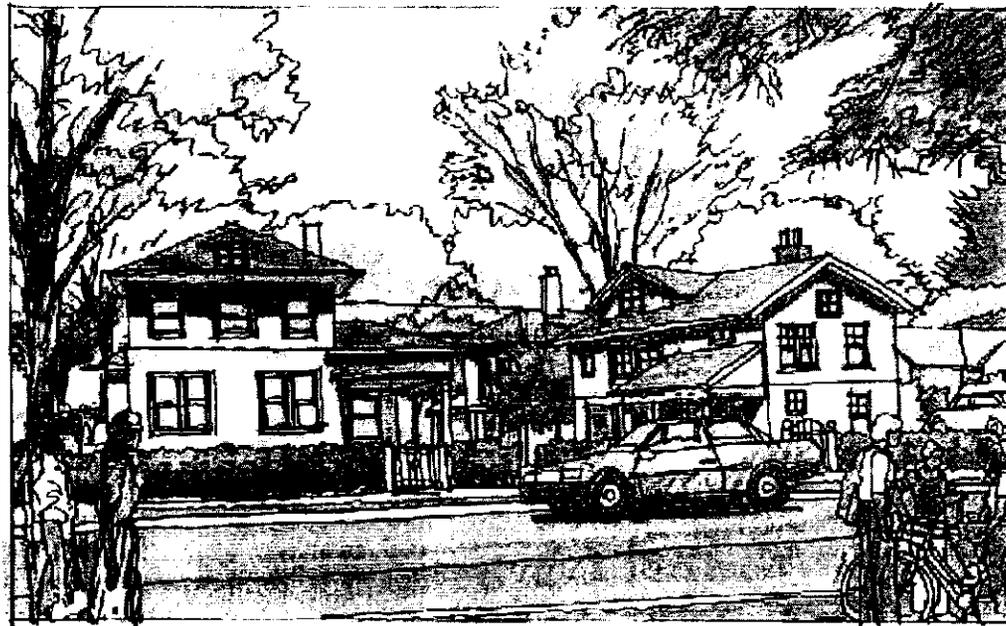
OLD NORTH

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Conceptual sketch illustrating the potential character of the Old East neighborhood case study.



- Building mass broken-up to reflect traditional neighborhood scale
- Traditional building heights, roof and forms (with attics)
- Street-oriented entry porches
- Parking Court
- 15'-20' side and front yard setbacks

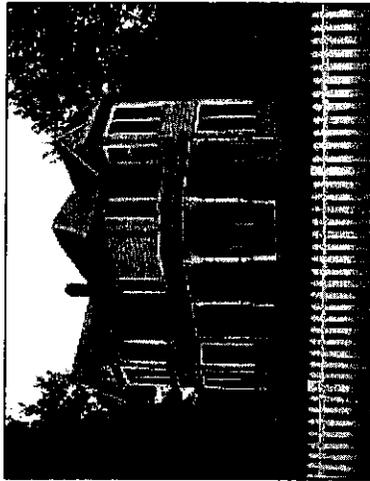


Case Study: Old East J Street R-2 Site

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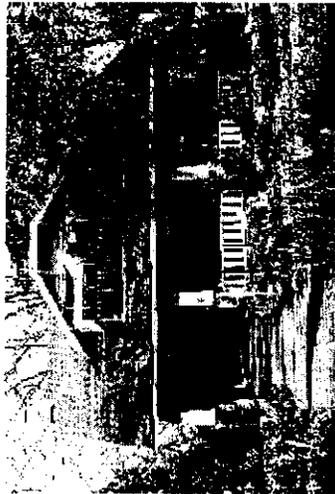


OLD EAST



OLD NORTH

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Applying the Guidelines: Old North Neighborhood



Key Features

Streetscape character:

- large canopy street trees
- open front yards
- informal landscaped alleys
- wide streets with parkways
- sidewalks
- on-street parking

Architecture:

- predominantly small one-story houses on raised foundations
- decorative variety
- pitched roofs
- few front yard fences
- front doors face the street
- mix of materials (brick, wood and stucco)
- consistency with diversity

Site patterns:

- consistent lot sizes and front yard setbacks
- houses in proportion with lot sizes
- unpaved, rustic alleys north of Sixth Street
- curb cuts with parking in rear yard on blocks south of Sixth Street, few curb cuts north of Sixth Street
- alley cottages and granny flats
- few garages in front of houses

Architectural diversity:

- bungalows and cottages

This 12-square-block, mostly residential neighborhood north of the Core consists of a well-preserved neighborhood of cottages and bungalows, built between 1913 and 1940. While individual structures are not of great architectural significance, the neighborhood is a fine example of its type. The older houses in the neighborhood have retained a considerable amount of integrity and form a cohesive link to the city's past development. Five of the six original alleys are unpaved and evocative of early 20th century life.

From a physical character perspective, the Old North neighborhood has three areas with distinctive features. These areas are influenced by adjacent commercial, institutional and park development. They include the G Street commercial area, residential blocks and school buildings in the southwest corner of the neighborhood. With the exception of G Street, Old North is residential, zoned R-2, one- and two-family residential.

Design Objectives

The Old North neighborhood should continue to reflect the scale and character of a single-family neighborhood. The character of the streetscape, with uniformly spaced trees, should be maintained. Alleys should retain a small scale, rustic image. Traditional parking patterns should be maintained.

Applying the General Residential Guidelines:

- Because Old North homes are traditionally small one story bungalows and cottages, great care should be taken to ensure that new construction is in scale with its neighbors. Illustrations on the following pages show how to plan an appropriately scaled addition or new building.
- Secondary structures are limited to a maximum of 15 ft. in height in order to respect the mass and scale of the neighborhood's primary structures. (*Special guidelines for Old North Secondary Structures appear in the Secondary Structures Guidelines, page 89*). A Case Study in this section also shows how to apply these special guidelines.
- Traditional parking patterns should be retained. South of Sixth Street, narrow driveways lead to rear yard parking. North of Sixth alley parking is preferred and new curb cuts should be avoided if possible.

OLD EAST

OLD NORTH

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Case Study: Old North Neighborhood

OLD EAST

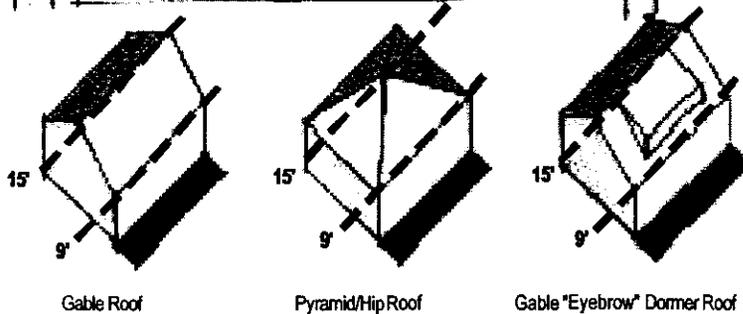
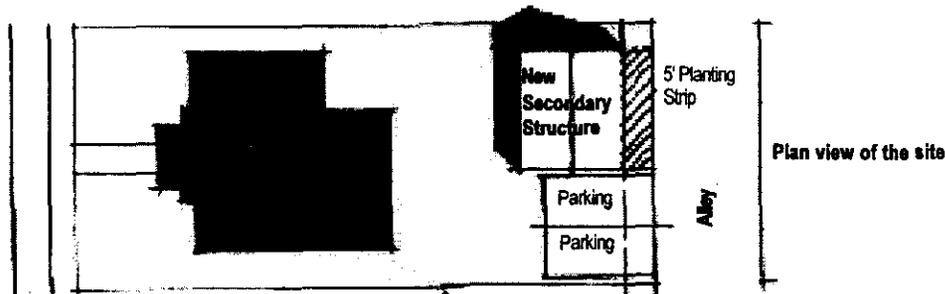
OLD NORTH

UNIV. AVE/
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How might the design guidelines affect the outcome of an improvement project in the neighborhood? A theoretical case study presented on this and the following page illustrates the application of the guidelines for Old North in combination with the general guidelines for residential neighborhoods. In this case, a new secondary structure is designed to be compatible with the alley context.

Characteristics:

- The mass of the alley building is set back 5 feet from the property line, which reduces its impact on the alley.
- Parking is located beside the building and is accessed from the alley.
- Building heights remain in scale with those seen traditionally.



Alternative roof treatment schemes
for the secondary structure

Development Standards for Secondary Structures on Alleys

| | |
|-------------------|--|
| Site Coverage | 480 sq. ft. max. |
| Setbacks/Side | 5' |
| Setbacks/Alley | 0'-5' |
| Landscaping | 40% alley frontage |
| Max. Height | 15' |
| Eave Height | 9' (along alley) |
| Max. Fence Height | 6' total height (top 2' encouraged to be "open") |
| Parking | 2 spaces along alley (additional parking, if required, located curbside) |



OLD EAST



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- Preserve existing trees
- 9'-0" eave parallel with alley
- 40% alley edge landscaped
- 0'-5" landscape setback
- 6'-0" fence



The sketch at left illustrates the potential character of new secondary structures along a typical alley in the Old North neighborhood:

- Fences are encouraged to include "see-through" elements that provide partial screening while adding interest to the scene;
- Foundation plantings buffer the alley edge as well; and
- Low scale buildings with sloping roofs permit views through properties.



Case Study: Secondary Structures on Alleys, Old North Neighborhood

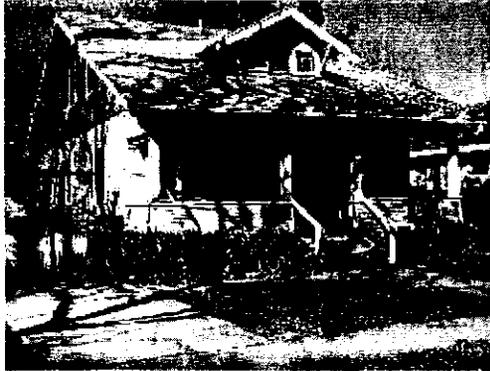
63



OLD EAST

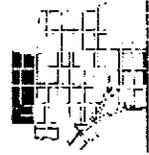
OLD NORTH

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Applying the Guidelines: University Avenue/Rice Lane Neighborhood



Key Features

Streetscape character:

- street trees
- vital, vibrant street life
- informal landscaped alleys
- narrow streets with parkways
- landscaped setbacks
- narrow sidewalks
- narrow curb cuts

Architecture:

- pitched, hip and gable roofs
- predominantly one and one and one-half stories
- porches and front doors facing the street
- few front yard fences
- mix of materials (brick, wood and stucco)
- raised foundations

Site patterns:

- narrow, deep lots
- a variety of building types
- small- to medium-scale residential
- balance of uses while maintaining residential character
- garages in rear half of lots
- yards in back
- small alley houses

Architectural diversity:

- bungalows and cottages
- some period architecture, particularly 1910-1940

University Avenue/Rice Lane is located between downtown and the University of California, Davis. It includes a number of traditional houses, post-war apartment buildings, hotels in its southeast corner and a commercial corridor on Third Street that links the downtown with the campus. Some residences have been adapted for institutional, fraternal and commercial uses. The neighborhood possesses a distinctive visual character that evokes the important town/gown interface.

The University Avenue Neighborhood Association, which has been proactive in retaining the neighborhood's character, was directly responsible for the city's adopting specially tailored Planned Development zoning in 1986, which is credited with helping revitalize the neighborhood. University Avenue/Rice Lane is the one residential neighborhood included in the Core Area Specific Plan.

Design Objectives

To encourage the continued health and vitality of the single-family residential character and to stabilize the existing mix of uses within the neighborhood by encouraging compatible reuse, maintenance and renovation.

Applying the General Residential Guidelines:

- On blocks where non-traditional structures exist, projects should be planned to be compatible with the traditional neighborhood building style. Proposals to remodel non-traditional structures should include plans to utilize as many guidelines as possible to improve compatibility with the traditional building stock.
- Due to the variety of land uses allowed in this neighborhood, applicants should first consult with Planning staff for information on density and uses allowed for their specific parcel.
- Encourage the maintenance of the existing mix of uses within the neighborhood. However, when conversion or change in use would enhance the neighborhood or would result in an upgrade to a non-contributing structure, as example, a non-contributing residential structure in disrepair located on a larger arterial that is converted to office use, adaptive re-use is encouraged.
- Secondary structures are limited to a maximum of 15 ft. in height and 480 square feet in total area in order to respect the mass and scale of the neighborhood, and to minimize further intensification along the alleyways.

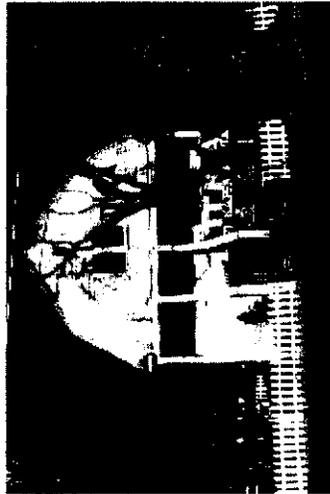
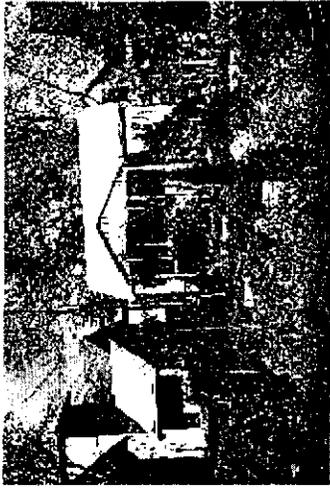
OLD EAST

OLD NORTH

UNIV. AVE/
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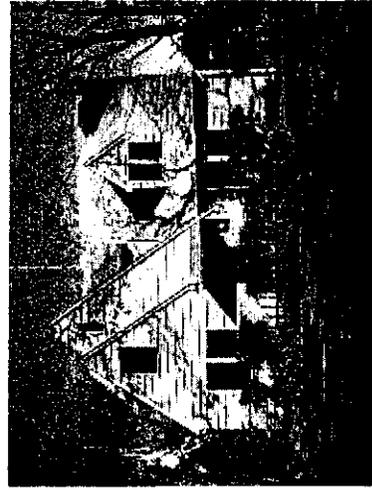


OLD EAST



OLD NORTH

UNIV. AV/
RICE LANE



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R2-CD: PROPOSED ZONING AMENDMENT TO ESTABLISH AN R2-CD ZONING DISTRICT**Summary of provisions related to setbacks, parking in general, and remodeling/replacing non-conforming buildings**

| | Current R2 standards | R2-CD Proposed minimum standards | Comment (See Staff Report for further discussion.) |
|---|--|---|--|
| Interior Side yard setbacks, primary buildings | <ul style="list-style-type: none"> 5 feet; 7 feet; minimum of 12 feet | <ul style="list-style-type: none"> No changes, except that second stories, or that portion of a building over 20 ft. must have a ten foot minimum or be approved through Design Review | Context related provision. See also sideyard exception for accessory structures. |
| Street Side Setbacks, primary | <ul style="list-style-type: none"> 15 ft. | <ul style="list-style-type: none"> 10 ft. on lots with parking strips; 15 feet for all others | Context related provision. |
| Side setbacks, accessory buildings | <ul style="list-style-type: none"> 5 ft. | <ul style="list-style-type: none"> Can be decreased in certain situations by a design review approved by the Planning Commission. | Allows clustering of accessory structures on adjacent properties (a historic neighborhood feature), side yard reductions when side yard is adjacent to an alley, and when needed used to protect significant landscape feature where appropriate. Planning Commission approval is established to require a fully noticed public hearing. |
| Rear Yard set backs, primary | <ul style="list-style-type: none"> 20 feet one story.; 25 feet two stories | <ul style="list-style-type: none"> No change | No changes proposed. |
| Rear setbacks, accessory structures | <ul style="list-style-type: none"> 10 ft. if not on alley, can be reduced to 5 ft. through CUP 5 ft. on alley, can be reduced to 0 ft. through CUP | <ul style="list-style-type: none"> Similar, except that Design Review rather than CUP is required. | Provides for a similar level of review as the CUP process, while reducing the fee burden to applicant. The change is possible because all conservation district exterior changes must undergo design review. |
| Parking: Number of spaces | <ul style="list-style-type: none"> Primary buildings: 2 for SFR of up to 4 bedrooms, 1 additional for each added | <p>Same, except as follows:</p> <ul style="list-style-type: none"> Secondary living units and guest houses: Reduction of 1 parking space when primary | We have focused on reducing the requirement (second units) and allowing a "space reservation" in Old North Davis. See staff report for further discussion. |

| | Current R2 standards | R2-CD Proposed minimum standards | Comment (See Staff Report for further discussion.) |
|---|---|---|--|
| | bedroom <ul style="list-style-type: none"> • 2 for duplexes up to 3 bedrooms, 1 additional for each added bedroom • Secondary living units: 1 for each bedroom • Non-conforming buildings by virtue of parking: additional parking required only when bedrooms are added | building parking requirements are met. <ul style="list-style-type: none"> • Primary buildings: Design Review landscape reserve for one space allowed for certain Old North minimum width alley lots; reduction throughout the district if needed to protect historic building or significant landscape features. | Paving and fencing options can help minimize negative effect of parking. See below. |
| Parking: Development standards | <ul style="list-style-type: none"> • Surfaces: hard impermeable surfaces generally, with some additional options. • Covered parking: solid cover required | <ul style="list-style-type: none"> • Surfaces: Alternate surfaces encouraged. may be approved during design review. • Trellis may be used when covered parking is required. | Alternate surfaces will meet the goal of minimizing hard paving. This is really not a change in code, but rather has been included to emphasize the goal in this sensitive neighborhood. Multiple-use parking spaces could be developed by a layout that includes a rolling gate for access off alley (occasional car storage) and covering a space with a trellis. Reserved spaces (see above) would be landscaped, but not covered with trees or other potentially significant landscape plants. |
| Non-conforming structures: First story expansion | <ul style="list-style-type: none"> • First floor may be expanded along non-conforming setbacks; second stories must be setback 10 ft. | <ul style="list-style-type: none"> • No changes. Provided for in separate section of zoning (40.28.120). | The city's new demolition ordinance applies if remodeling is extensive, removing more than 25% of exterior walls. |
| Non-conforming structures: second story | <ul style="list-style-type: none"> • Second story set back 10 ft.; street side yard: 15 ft. | <ul style="list-style-type: none"> • Interior: Second story setback can be decreased to a minimum of 5 ft. by a design review permit approved by | Second story reduction may be useful in isolated cases, where other existing context issues mitigate negative impacts (adjacent to wide double lots, neighboring accessory structures and, in Old East, |

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| | Current R2 standards | R2-CD Proposed minimum standards | Comment (See Staff Report for further discussion.) |
|--|--|--|--|
| additions (also new construction) | | <p>the Planning Commission.</p> <ul style="list-style-type: none"> Street side yard: 10 ft. | non-conforming apartment houses.) As proposed, this provision would apply to remodels but also to new construction. |
| Non-conforming structures: replacing | <ul style="list-style-type: none"> Catastrophic damage only: if equal to less than 60% of appraised value, the building can be reconstructed. | <ul style="list-style-type: none"> Allow replacement of up to 100% of building value for in-kind replacement only. Increased footprints, etc., must meet current standards. | See staff report for discussion. This option has been provided to allow actual replacement, although in almost all cases, staff expects that owners would seek to make changes following a significant catastrophe. |
| Converting legal non-conforming garages | <ul style="list-style-type: none"> Cannot be converted to habitable spaces unless setbacks and other zoning standards are met. | <ul style="list-style-type: none"> Could be converted through CUP process, with findings. | The impact of converting a non-habitable to habitable space is a use impact, suitable for the CUP process. Findings are required that the new use will not be a nuisance. Exterior changes are subject to design review. |

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OLD NORTH DAVIS PARKING SURVEY (BLOCK C-D, 5TH-6TH STREET)

| HOUSE # | LOCATION | PARKING SPACES | | | | ACCESSORY STRUCTURES | | | | | |
|-----------|-------------|----------------|-----------------|---------------------------|----------------------|------------------------|-------------------|---------------------|-------------------------|-------------------------|--|
| | | Total Quantity | Active Quantity | Driveway/ Alley Access | Exterior Paving Type | Garage Habitable Other | Active/ Nonactive | Size (ft.xft.) apx. | Rear Setback (ft.) apx. | Side Setback (ft.) apx. | Notes |
| 520 | C Street | 4 | 4 | driveway | conc. Strips | other | active | 15x20 | see notes | 2 | front setback is 45ft. (could not determine rear setback) |
| 522 | C Street | 5 | 5 | driveway | conc. | habitable | active | 20x20 | see notes | 3 | front setback is 55ft. (could not determine rear setback) |
| 528 | C Street | 7 | 7 | driveway | conc. | garage | active | 20x20 | see notes | 5 | front setback is 55ft. (could not determine rear setback) |
| 532 | C Street | 4 | 4 | driveway | conc. | other | active | 20x20 | see notes | 5 | front setback is 55ft. (could not determine rear setback) |
| 536 | C Street | 2 | 0 | driveway | dirt | other | active | 25x25 | 0 | 25 | driveway faces 6Th. Street |
| 517 | D Street | 2 | 2 | driveway | conc. | habitable | active | 20x20 | 5 | 5 | garage is attached to main structure |
| 521 / 523 | D Street | 4 | 4 | driveway | conc. strips | other | active | 20x30 | see notes | 0 | front setback is 55ft. (could not determine rear setback), (storage) |
| 527 | D Street | 4 | 4 | driveway | con. | other | active | 20x20 | see notes | 5 | front setback is 55ft. (could not determine rear setback) |
| 533 | D Street | 4 | 4 | driveway | conc. strips | other | active | 15x15 | 0 | 5 | shed |
| 537 | D Street | 1 | 1 | driveway | conc. | NA | NA | NA | NA | NA | driveway faces 6Th. Street |
| 413 | 5Th. Street | 0 | 0 | NA | NA | other | active | 15x20 | see notes | 10 | front setback is 55ft. (could not determine rear setback) |

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OLD NORTH DAVIS PARKING SURVEY (BLOCK D-E, 5TH-6TH STREET)

| HOUSE # | LOCATION | PARKING SPACES | | | | ACCESSORY STRUCTURES | | | | | |
|---------|-------------|----------------|-----------------|------------------------|----------------------|------------------------|-------------------|---------------------|-------------------------|-------------------------|---|
| | | Total Quantity | Active Quantity | Driveway/ Alley Access | Exterior Paving Type | Garage Habitable Other | Active/ Nonactive | Size (ft.xft.) apx. | Rear Setback (ft.) apx. | Side Setback (ft.) apx. | Notes |
| 512 | D Street | 2 | 2 | driveway | conc. | NA | NA | NA | NA | NA | |
| 516 | D Street | 2 | 2 | driveway | conc. | habitable | active | 20x30 | 10 | 10 | |
| 522 | D Street | 3 | 3 | driveway | conc. | garage | active | see notes | see notes | 3 | front setback is 30ft. (could not determine rear setback), garage is attached to main structure |
| 528 | D Street | 3 | 3 | driveway | conc. Strips | other | active | 20x20 | see notes | 5 | front setback is 45ft. (could not determine rear setback) |
| 501 | E Street | 2 | 2 | driveway | conc. Strips | NA | NA | NA | NA | NA | |
| 503 | E Street | 2 | 2 | driveway | conc. | NA | NA | NA | NA | NA | |
| 507 | E Street | 2 | 2 | driveway | conc | NA | NA | NA | NA | NA | |
| 509 | E Street | 1 | 1 | driveway | conc. | NA | NA | NA | NA | NA | |
| 513 | E Street | 3 | 3 | driveway | conc. | garage | active | 15x15 | see notes | 1 | front setback is 45ft. (could not determine rear setback) |
| 517 | E Street | 3 | 3 | driveway | conc. strips | other | active | 15x15 | see notes | 0 | front setback is 45ft. (could not determine rear setback) |
| 523 | E Street | 3 | 3 | driveway | conc. | habitable | active | 20x20 | see notes | 0 | front setback is 55ft. (could not determine rear setback) |
| 527 | E Street | 5 | 2 | driveway | conc. | other | active | 25x25 | see notes | 0 | front setback is 55ft. (could not determine rear setback) |
| 533 | E Street | 3 | 3 | driveway | conc. | other | active | 15x15 | see notes | 0 | front setback is 55ft. (could not determine rear setback) |
| 539 | E Street | 2 | 2 | driveway | conc. | garage/ other | active | 35x35 | 0 | 15 | |
| 503 | 5Th. Street | 3 | 3 | driveway | conc. | other | nonactive | 15x25 | 0 | 2 | |
| 509 | 5Th. Street | 3 | 3 | driveway | brick | NA | NA | NA | NA | NA | |
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OLD NORTH DAVIS PARKING SURVEY (BLOCK E-F, 5TH-6TH STREET)

| HOUSE # | LOCATION | PARKING SPACES | | | | ACCESSORY STRUCTURES | | | | | Notes |
|----------|-------------|----------------|-----------------|------------------------|----------------------|------------------------|-------------------|---------------------|-------------------------|-------------------------|---|
| | | Total Quantity | Active Quantity | Driveway/ Alley Access | Exterior Paving Type | Garage Habitable Other | Active/ Nonactive | Size (ft.xft.) apx. | Rear Setback (ft.) apx. | Side Setback (ft.) apx. | |
| 502 | E Street | 1 | 1 | driveway | NA | garage | active | 15x20 | 10 | 10 | corner lot, driveway faces 5Th. Street |
| 508 | E Street | 4 | 4 | driveway | conc. | garage | active | 20x20 | see notes | 5 | front setback is 50ft. (could not determine rear setback) |
| 512 | E Street | 4 | 4 | driveway | conc. | other | active | 20x20 | see notes | 5 | front setback is 55ft. (could not determine rear setback), (shed) |
| 516 | E Street | 2 | 2 | driveway | dirt | other | active | 15x20 | see notes | 0 | front setback is 45ft. (could not determine rear setback) |
| 522 | E Street | 3 | 2 | driveway | conc. | other | active | 20x30 | see notes | 0 | front setback is 45ft. (could not determine rear setback) |
| 524 | E Street | 2 | 1 | driveway | decomposed granit | habitable | active | 15x15 | see notes | 0 | front setback is 45ft. (could not determine rear setback) |
| 530 | E Street | 3 | 3 | driveway | conc. | other | active | 20x20 | see notes | 0 | front setback is 55ft. (could not determine rear setback), (shed) |
| 503 | F Street | 3 | 3 | driveway | rock | | | | see notes | | driveway faces 5Th. Street. |
| 507 | F Street | 3 | 3 | driveway | conc. Strips | other | nonactive | 15x15 | see notes | 5 | front setback is 40ft. (could not determine rear setback) |
| 513 | F Street | 3 | 3 | driveway | rock | other | active | 15x25 | see notes | 0 | front setback is 50ft. (could not determine rear setback) |
| 519 | F Street | 3 | 3 | driveway | conc. Strips/ rock | other | active | 15x15 | see notes | 5 | front setback is 40ft. (could not determine rear setback) |
| 523/ 525 | F Street | 3 | 3 | driveway | conc. | | | | see notes | | |
| 529 | F Street | 3 | 2 | driveway | conc./ rock | | active | 20x20 | see notes | 0 | front setback is 45ft. (could not determine rear setback) |
| 531 | F Street | 3 | 3 | driveway | conc. | other | nonactive | 20x20 | see notes | 0 | front setback is 45ft. (could not determine rear setback) |
| 537 | F Street | 2 | 2 | driveway | conc. | other | active | 15x20 | 5 | 25 | corner lot, driveway faces 6Th. Street. |
| 619 | 5Th. Street | 1 | | driveway | conc. | NA | NA | NA | NA | NA | |
| 600 | 6Th. Street | 0 | 0 | NA | NA | NA | NA | NA | NA | NA | |
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OLD NORTH DAVIS PARKING SURVEY (BLOCK F-G, 5TH-6TH STREET)

| HOUSE # | LOCATION | PARKING SPACES | | | | ACCESSORY STRUCTURES | | | | | Notes |
|-----------|-------------|----------------|-----------------|------------------------|----------------------|------------------------|-------------------|---------------------|-------------------------|-------------------------|---|
| | | Total Quantity | Active Quantity | Driveway/ Alley Access | Exterior Paving Type | Garage Habitable Other | Active/ Nonactive | Size (ft.xft.) apx. | Rear Setback (ft.) apx. | Side Setback (ft.) apx. | |
| 504 | F Street | 2 | 1 | driveway | dirt | other | nonactive | 15x20 | 20 | 10 | corner lot, driveway faces 5th Street |
| 508 / 510 | F Street | 2 | 2 | alley | dirt | garage | active | 15x20 | 15 | 2 | |
| 512 | F Street | 5 | 5 | alley | conc. | habitable/ garage | active | 20x44 | 12 | 10 | second structure is attached to main structure |
| 516 | F Street | 0 | 0 | | | other | nonactive | 20x25 | 25 | 0 | |
| 522 | F Street | 1 | 0 | alley | dirt | other | nonactive | 15x20 | 10 | 0 | |
| 528 | F Street | 5 | 5 | alley | conc. | garage | active | 25x25 | 8 | 5 | |
| 530 | F Street | 2 | 2 | driveway | conc. | habitable | active | 15x15 | 25 | 1 | |
| 515 | G Street | 2 | 2 | alley | rock | NA | NA | NA | NA | NA | |
| 523 | G Street | 2,6 | 2,6 | driveway/ alley | conc./ asphalt | NA | NA | NA | NA | NA | |
| 527 | G Street | 0 | 0 | NA | NA | NA | NA | NA | NA | NA | |
| 535 | G Street | 1 | 1 | alley | dirt | other | active | 15x120 | 12 | 5 | shed |
| 537 | G Street | 0 | 0 | NA | NA | NA | NA | NA | NA | NA | |
| 704 | 6Th. Street | 3 | 3 | driveway | conc. | NA | NA | NA | NA | NA | corner lot, driveway faces 6th Street. Garage is part of main structure |
| 716 | 6Th. Street | 4 | 4 | driveway | conc. | garage | active | 20x20 | 5 | 3 | |
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OLD NORTH DAVIS PARKING SURVEY (BLOCK B-C, 6TH-7TH STREET)

| HOUSE # | LOCATION | PARKING SPACES | | | | ACCESSORY STRUCTURES | | | | | Notes |
|---------|----------------|----------------|-----------------|------------------------|----------------------|------------------------|-------------------|---------------------|-------------------------|-------------------------|--|
| | | Total Quantity | Active Quantity | Driveway/ Alley Access | Exterior Paving Type | Garage Habitable Other | Active/ Nonactive | Size (ft.xft.) apx. | Rear Setback (ft.) apx. | Side Setback (ft.) apx. | |
| 301 | 6th & B street | 2 | 2 | driveway | concrete | garage | active | 20 x 25 | 15 | 25 | corner lot, house fronts 6th street |
| 309 | 6th street | 4 | 4 | alley | concrete | garage | active | 20 x 25 | 15 | 5 | |
| 616 | B Street | 2 | 2 | alley | NA | garage | active | 20 x 20 | 5 | 5 | |
| 620 | B Street | 3 | 3 | alley | concrete | garage | active | 20 x 20 | 20 | 10 | garage attached to main structure |
| 626 | B Street | 1 | 1 | alley | NA | garage | active | 15 x 20 | 5 | 10 | |
| 636 | B Street | 5 | 5 | driveway | concrete | garage/habitable | active | 20 x 35 | 5 | 5 | accessory structure is a garage with attached liveable space |
| 648 | B Street | 0 | 0 | alley | NA | none | NA | NA | NA | NA | |
| 603 | C Street | 2 | 2 | alley | concrete | habitable | active | 20 x 20 | 5 | 3 | |
| 613 | C Street | 1 | 1 | alley | NA | garage | active | 12 x 15 | 10 | 3 | |
| 619 | C Street | 1 | 0 | alley | NA | garage | nonactive | 15 x 20 | 5 | 3 | |
| 623 | C Street | 0 | 0 | alley | NA | other | active | 15 x 20 | 15 | 5 | |
| 629 | C Street | 0 | 0 | alley | NA | none | NA | NA | NA | NA | |
| 635 | C Street | 0 | 0 | alley | NA | habitable | active | 10 x 15 | 5 | 15 | |
| 637 | C Street | 0 | 0 | alley | NA | habitable | active | 15 x 25 | 10 | 5 | |
| 645 | C Street | 1 | 1 | alley | gravel | other | active | 15 x 25 | 15 | 1 | |
| 651 | 7th & C Street | 1 | 0 | driveway | NA | other | active | 15 x 20 | 5 | 5 | corner lot, driveway faces 7th street |
| | | | | | | | | | | | |
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OLD NORTH DAVIS PARKING SURVEY (BLOCK C-D, 6TH-7TH STREET)

| HOUSE # | LOCATION | PARKING SPACES | | | | ACCESSORY STRUCTURES | | | | | | Notes |
|-----------|-------------|----------------|-----------------|------------------------|----------------------|------------------------|----------------------|---------------------|-------------------------|-------------------------|---|-------|
| | | Total Quantity | Active Quantity | Driveway/ Alley Access | Exterior Paving Type | Garage Habitable Other | Active/ Nonactive | Size (ft.xft.) apx. | Rear Setback (ft.) apx. | Side Setback (ft.) apx. | | |
| 602 | C Street | 2 | 2 | alley | dirt | garage | active | 15x20 | 5 | 3 | | |
| 606 | C Street | 1 | 1 | alley | dirt | other | nonactive | 15x15 | 3 | 5 | | |
| 612 | C Street | 2 | 2 | alley | dirt | other | nonactive | 15x15 | 15 | 5 | | |
| 618 | C Street | 0 | 0 | alley | NA | other | active | 15x20 | 10 | 5 | | |
| 624 | C Street | 0 | 0 | NA | NA | habitable | active | 20x25 | 15 | 10 | | |
| 628 | C Street | 0 | 0 | NA | NA | other | active | 15x20 | 0 | 0 | | |
| 632 / 634 | C Street | 2 | 2 | alley | conc. | garage | active | 15x15 | 0 | 0 | (duplex) 2 - 15x15 garages | |
| 642 | C Street | 1 | 0 | alley | dirt conc. | other | nonactive | 15x20 | 12 | 0 | shed | |
| 646 | C Street | 2 | 0 | alley | Strips | other | active | 15x15 | 30 | 5 | (shed) attached garage | |
| 648 | C Street | 1 | 1 | driveway | conc. | garage/ habitable | active | 30x30 | 5 | 10 | driveway faces 7th. Street | |
| 601 | D Street | 4 | 4 | alley | conc. | garage | active | 20x20 | 10 | 2 | | |
| 609 | D Street | 3 | 3 | driveway & alley | conc. & dirt | garage | active | 15x20 | 10 | 15 | conc. parking pad in front | |
| 613 | D Street | 2 | 2 | alley | dirt | garage | active | 15x20 | 10 | 5 | | |
| 617 | D Street | 2 | 2 | alley | dirt | garage | active | 15x20 | 10 | 5 | | |
| 621 | D Street | 4 | 4 | driveway & alley | conc. & dirt | garage/ other | active/ nonactive | 15x20/ 20x30 | 5,5 | 0,6 | (garage,shed) paving strips in front, garage in front attached. | |
| 623 | D Street | 4 | 4 | alley | conc. | cover | active | 20x25 | 10 | 20 | parking cover | |
| 627 | D Street | 4 | 4 | alley | conc. | cover | active | 20x25 | 10 | 0 | parking cover | |
| 631 | D Street | 1 | 1 | alley | | garage/ habitable | active | 20x45 | 5 | 10 | | |
| 633 | D Street | 1 | 1 | driveway | conc. | NA | NA | NA | NA | NA | paving strips | |
| 641 | D Street | 2 | 2 | alley | dirt | garage | active | 20x20 | 1 | 0 | | |
| 647 | D Street | 0 | 0 | NA | NA | NA | NA | NA | NA | NA | | |
| 408 | 7Th. Street | 2 | 2 | driveway | conc. | habitable | active | 15x25 | 15 | 0 | driveway faces 7th. Street, side of garage faces alley. | |

NA = Not Applicable

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OLD NORTH DAVIS PARKING SURVEY (BLOCK D-E, 6TH-7TH STREET)

| HOUSE # | LOCATION | PARKING SPACES | | | | ACCESSORY STRUCTURES | | | | | Notes |
|-----------|----------|----------------|-----------------|------------------------|----------------------|------------------------|-------------------|---------------------|-------------------------|-------------------------|---|
| | | Total Quantity | Active Quantity | Driveway/ Alley Access | Exterior Paving Type | Garage Habitable Other | Active/ Nonactive | Size (ft.xft.) apx. | Rear Setback (ft.) apx. | Side Setback (ft.) apx. | |
| 602 | D Street | 0 | 0 | NA | NA | NA | NA | NA | NA | NA | |
| 608 / 610 | D Street | 6 | 6 | alley | conc. | NA | NA | NA | NA | NA | |
| 612 | D Street | 0 | 0 | NA | NA | other | active | 15x20 | 5 | 0 | |
| 616 | D Street | 3 | 3 | driveway | conc. | NA | NA | NA | NA | NA | |
| 620 | D Street | 4 | 4 | alley | pavers | garage | active | 25x30 | 15 | 1 | |
| 626 | D Street | 1 | 1 | alley | rock | habitable | active | 15x20 | 5 | 10 | |
| 630 | D Street | 1 | 0 | alley | dirt | other | nonactive | 25x25 | 10 | 2 | shed |
| 642 | D Street | 3 | 3 | alley | dirt | garage | active | 20x25 | 10 | 10 | |
| 648 | D Street | 1 | 1 | alley | dirt | habitable/ other | active/ active | 12x20 | 2 | 12 | |
| 601 | E Street | 1 | 0 | alley | dirt | other | nonactive | 20x25 | 10 | 3 | shed |
| 607 | E Street | 0 | 0 | NA | NA | NA | NA | NA | NA | NA | |
| 611 | E Street | 3 | 3 | alley | conc. | garage/ habitable | active/ active | 25x30 | 10 | 5 | |
| 623 | E Street | 1 | 1 | alley | conc. | NA | NA | NA | NA | NA | |
| 625 / 627 | E Street | 2 | 2 | driveway | conc. | other | active | 15x20 | see notes | 5 | duplex, (car cover in front yard), front setback is 25ft. |
| 631 | E Street | 1 | 0 | alley | dirt | other | nonactive | 15x20 | 10 | 5 | |
| 637 | E Street | 2 | 0 | alley | dirt | other | active | 15x15 | 0 | 10 | |
| 639 | E Street | 2 | 2 | driveway | dirt | garage | active | 15x20 | 5 | 15 | corner lot, driveway faces 7th street. |
| | | | | | | | | | | | |
| | | | | | | | | | | | |
| | | | | | | | | | | | |

270

OLD NORTH DAVIS PARKING SURVEY (BLOCK E-F, 6TH-7TH STREET)

| HOUSE # | LOCATION | PARKING SPACES | | | | ACCESSORY STRUCTURES | | | | | | Notes |
|-----------|-------------|----------------|-----------------|------------------------------|----------------------------|------------------------------|----------------------|---------------------------|----------------------------------|----------------------------------|---------------------------------------|-------|
| | | Total Quantity | Active Quantity | Driveway/ Alley Access | Exterior Paving Type | Garage Habitable Other | Active/ Nonactive | Size (ft.xft.) apx. | Rear Setback (ft.) apx. | Side Setback (ft.) apx. | | |
| 606 / 608 | E Street | 3 | 0 | alley | dirt | other | nonactive | 20x20 | 25 | 3 | cover | |
| 612 | E Street | 2 | 2 | alley | rock | NA | NA | NA | NA | NA | | |
| 616 | E Street | 0 | 0 | NA | NA | habitable | active | 15x20 | 2 | 15 | | |
| 618 | E Street | 1 | 0 | alley | dirt | other | active | 15x20 | 5 | 0 | shed | |
| 622 | E Street | 0 | 0 | NA | NA | other | active | 15x15 | 10 | 0 | | |
| 630 | E Street | 2 | 2 | driveway | conc. | other | nonactive | 15x15 | 15 | 15 | | |
| 642 | E Street | 1 | 0 | alley | dirt | other | nonactive | 15x15 | 15 | 15 | | |
| 650 | E Street | 4 | 0 | alley | rock | other | active | 20x30 | 15 | 3 | storage | |
| 613 | F Street | 3 | 3 | alley | rock | garage | active | 20x20 | 10 | 0 | | |
| 619 | F Street | 0 | 0 | NA | NA | habitable | active | 25x25 | 10 | 4 | | |
| 623 | F Street | 2 | 2 | alley | | garage | active | 15x20 | 5 | 2 | | |
| 625 | F Street | 2 | 2 | alley | | garage | active | 20x25 | 5 | 2 | garage attached to house | |
| 633 | F Street | 0 | 0 | | | other | nonactive | 20x25 | 4 | 1 | | |
| 637 | F Street | 4 | 4 | driveway/ alley | conc. Strips/ conc. | NA | NA | NA | NA | NA | driveway runs from F Street to alley. | |
| 643 | F Street | 1 | 1 | alley | conc. | NA | NA | NA | NA | NA | | |
| 647 | F Street | 1 | 1 | alley | | garage | active | 15x20 | 5 | 0 | | |
| 615 | 6Th. Street | 4 | 4 | driveway | conc. | habitable | active | 20x25 | 5 | 15 | driveway faces 6th Street. | |
| 619 | 6Th. Street | 2 | 0 | alley | dirt | other | nonactive | 15x20 | 3 | 10 | | |
| 621 | 6Th. Street | 3 | 3 | driveway | conc. Strips | garage | active | 15x20 | 10 | 25 | driveways faces F Street | |
| 610 | 7Th. Street | 2 | 2 | driveway | conc. | NA | NA | NA | NA | NA | driveway faces E Street | |
| 612 | 7Th. Street | 2 | 2 | alley | conc. | NA | NA | NA | NA | NA | Driveways faces alley | |
| 614 | 7Th. Street | 0 | 0 | NA | NA | NA | NA | NA | NA | NA | | |

77

OLD NORTH DAVIS PARKING SURVEY (BLOCK F-G, 6TH-7TH STREET)

| HOUSE # | LOCATION | PARKING SPACES | | | | ACCESSORY STRUCTURES | | | | | | Notes |
|-----------|-------------|----------------|-----------------|------------------------|----------------------|------------------------|-------------------|---------------------|-------------------------|-------------------------|---|-------|
| | | Total Quantity | Active Quantity | Driveway/ Alley Access | Exterior Paving Type | Garage Habitable Other | Active/ Nonactive | Size (ft.xft.) apx. | Rear Setback (ft.) apx. | Side Setback (ft.) apx. | | |
| 614 | F Street | 0 | 0 | NA | NA | NA | NA | NA | NA | NA | | |
| 616 | F Street | 2 | 1 | driveway | conc. | other | active | 10x20 | see notes | 5 | front setback is 30ft. (could not determine rear setback) | |
| 618 | F Street | 2 | 2 | Driveway | conc. | other/ other | active/ active | 5x10/ 15x20 | see notes | 1 | front setback is 28ft. (could not determine rear setback), (there are two additional units on this lot) | |
| 620 | F Street | 0 | 0 | NA | NA | other | active | 10x15 | see notes | 1 | front setback is 30ft. (could not determine rear setback), (shed) | |
| 624 / 626 | F Street | 2 | 2 | alley | dirt | NA | NA | NA | NA | NA | | |
| 630 | F Street | 3 | 3 | alley | conc. | garage | active | 20x20 | 8 | 10 | | |
| 636 | F Street | 2 | 0 | alley | dirt | garage | nonactive | 15x20 | 4 | 0 | | |
| 642 | F Street | 0 | 0 | NA | NA | other | active | 20x20 | 4 | 3 | | |
| 646 | F Street | 1 | 0 | driveway | conc. | other | nonactive | 15x20 | 4 | 10 | corner lot, driveway faces 6th Street. | |
| 603 | G Street | 2 | 2 | driveway | conc. | habitable | active | 20x30 | 4 | 10 | | |
| 607 | G Street | 0 | 0 | NA | NA | other | nonactive | 15x20 | 4 | 5 | | |
| 613 | G Street | 2 | 2 | alley | conc. | habitable | active | 30x30 | 4 | 5 | | |
| 617 | G Street | 2 | 2 | alley | rock | | | | | | | |
| 623 | G Street | 3 | 3 | alley | conc. | other | active | 20x30 | 10 | 5 | parking cover | |
| 627 | G Street | 1 | 0 | alley | dirt | other | nonactive | 12x20 | 10 | 2 | | |
| 631 | G Street | 2 | 0 | driveway | conc. | other | nonactive | 12x15 | three | 0 | | |
| 635 | G Street | 2 | 2 | alley | conc. | habitable | active | 20x40 | 3 | 5 | second unit is attached | |
| 641 | G Street | 4 | 4 | alley | dirt | habitable | active | 25x25 | 8 | 5 | | |
| 647 | G Street | 1 | 0 | driveway | dirt | habitable | active | 15x20 | 3 | 10 | | |
| 703 | 6Th. Street | 4 | 4 | driveway | conc. | NA | NA | NA | NA | NA | corner lot, driveway faces F Street | |
| 705 | 6Th. Street | 2 | 0 | alley | conc. | NA | NA | NA | NA | NA | | |
| | | | | | | | | | | | | |



ATTACHMENT 7

Staff Report

TO: Planning Commission

FROM: Bill Emlen, Planning and Building Director
Katherine Hess, Planning and Redevelopment Administrator
Esther Polito, Cultural Services Manager *EP*

SUBJECT: PA# 125-02, Establishing an R-2 Conservation District Zoning District

Recommendation

Staff recommends the Planning Commission take the following actions:

1. Hold a public hearing on the proposed R-2 CD zoning drafted by staff; and
2. Review and recommend approval of Negative Declaration #22-02 finding that the proposed ordinance amendment will not have a significant negative impact upon the environment; and
3. Review proposed draft ordinance for City Council consideration and recommend that the City Council approve the proposed ordinance.

Background/Problem Statement

In 2001, the City adopted a Conservation Overlay Zoning District and approved the use of the Downtown and Residential Neighborhood Design Guidelines for site plan and architectural approval of construction projects within the district. As part of that process, the authorizing ordinance states that, until such time as the zoning is updated, the stricter standard (Design Guidelines vs. Zoning) would be applied to project review.

The three residential neighborhoods within the Conservation District had zoning that needed to be updated: University Ave./Rice Lane, for which PD 2-86 was updated in 2002, and two R-2 neighborhoods of Old North and Old East. Shortly after the PD was revised, new legislation was introduced at the state level that would have an impact on the Second Unit approvals (probably the most contentious issue in R-2 neighborhoods). Consequently, staff deferred the R-2 zoning revision until Second Unit legislation was adopted and relevant city zoning approved. The second reading for the updated Second Unit ordinance was held on May 28. On June 2, staff held a neighborhood meeting for the R-2 rezoning.

R-2 CD Zoning Objectives:

1. Create Conservation District zoning for the two R-2 Conservation District neighborhoods by generally bringing forward current R-2 zoning, while proposing modifications appropriate to the Conservation District built environment.
2. Ensure that CD zoning is consistent with design guidelines.

3. Create standards that are easy for both staff and the public to understand, apply, and enforce.

Public Outreach:

The public hearing notice was published in the Davis Enterprise, and mailed to all properties owners and residents in and within 300 ft. of the Old East and Old North neighborhoods. Approximately 30 property owners attended a neighborhood meeting on June 2, 2003, at which information was provided and discussion held on the proposed CD zoning and the proposed amendment concerning existing non-conforming lots (also on your June 17 agenda). Although the latter change is city-wide, the amendment was discussed in this neighborhood meeting because most of the city's nonconforming lots are located in the Conservation District.

Comments received at the meeting are summarized on a table attached to this report. Staff response and applicable zoning modifications (if recommended) are included in the table. Surveys were distributed, one of which has been returned to date and attached to this report under "Correspondence." Staff also received several email messages (also attached) from Old North homeowner and Neighborhood Association board member Andrew Wallace. Mr. Wallace also forwarded his meeting summary notes to the Old North Neighborhood Association email list, encouraging comments. None have been received to date.

Finally, the draft zoning proposal will be posted to the city's web site this week and email notices announcing the URL will be sent to Old North and Old East Neighborhood Associations.

Environmental Determination

Negative Declaration # 22-02 has been prepared for the project. Staff has determined that the proposed project will have no significant impact on the environment.

Residential One and Two Family (R-2) Zoning retained as basis for R-2 CD district:

The main thrust of this project was to bring forward the current R-2 zoning with modifications to ensure that the two controlling documents - zoning standards and design guidelines - work together. In this way, all three project goals would be met: consistency with the built environment, consistency with the design guidelines, and clarifying expectations and streamlining the approval process.

While several participants at the neighborhood meeting commented that R-1 zoning is, in their opinion, more appropriate for these neighborhoods, staff recommends that the R-2 update go forward rather than be delayed by further study. Extensive public outreach during the design guideline process helps ensure that the proposed zoning reflects neighborhood vision. In regard to future studies, staff believes that creating the special zoning district will increase neighborhood flexibility when considering future Conservation District context needs.

New R-2 CD Zoning District Modifications and Analysis

In general, the proposed permitted, accessory and conditional uses are the same as in the R-2 district, with the greatest exception applying to Second Units and Guest Houses. Below is a list of the proposed modifications, with analysis.

Incorporating standards from other zoning sections: Staff has incorporated zoning standards from other sections where possible rather than incorporate by reference. For example, current R-2 zoning refers to R-1 section for Second Unit standards. In the proposed zoning, Second Unit standards have generally been incorporated. Where references have been retained, it is either because of the infrequency of the use (such as off-street parking for potential conditional uses not specified here) or because the referral is to a process that is too lengthy to incorporate other than by reference (Design Review process, for example).

Accessory Uses: Most Second Units and Guest Houses are proposed as accessory permitted uses rather than conditional uses. Ministerial second units are provided for, consistent new Second Unit ordinance. Second unit size standards have been included rather than incorporated by reference. All accessory buildings are limited to a 480 square foot footprint, as per the design guidelines.

The old Second Unit CUP process safeguarded the neighborhoods in two ways: ensuring that one unit was owner-occupied, and providing a process for design review. With the first safeguard no longer applicable, and the second already provided for through the Conservation District Design Review process, staff finds that the Conditional Use process is no longer applicable for most projects. In fact, neighbors were advised during design guideline development that Second Unit review would be simplified.

At the June 2 neighborhood meeting, one participant commented he prefers to retain the Conditional Use process for all Second Units because it ensures a fully noticed public hearing. Others commented that the design review process will provide adequate protection. It is a fact that project approval can have an impact outside the typical 300 ft. radius in that one approval can set a precedent for other projects throughout the neighborhood. As per the design guidelines design review process, all projects will be noticed within 300 ft. and also posted on-site. Further, staff will send notices to neighborhood associations.

Guest house size standards have been increased to be consistent with Second Unit standards. Under current zoning, guest houses are limited to 25% of the primary structure, while Second Units are limited to 50%. Recognizing that guest houses have the potential for less impact on neighbors, staff could find no substantive reasons for the different standards, and recommend that the difference be eliminated. Parking requirements will still need assessed, by requiring guest house bedrooms be added to the primary dwelling bedrooms when calculating number of spaces required.

Conditional Uses: Conditional uses as per R-2 have been brought forward, including options for reducing accessory structure rear and side set backs. Conditional Use height increases for Second

Units have been limited to specified geographic areas only, generally in compliance with the Design Guidelines, but with the addition of the lots on the east side of F Street. Please see discussion of "height requirements" below for further information.

Two new Conditional Uses are proposed that were the result of recent neighborhood and staff discussions rather than the design guidelines: 1) converting existing non-conforming accessory structures to Second Units or other habitable space, and 2) reducing side and/or rear yard setbacks to allow for clustering garages and sharing driveways. One homeowner at the neighborhood meeting commented that the city established a conservation district because it values the built environment as it exists, and that zoning should support that environment rather than require it to change. These two new Conditional Uses would allow the neighborhood to develop in a manner that reflects its historic character, wherever possible and appropriate.

While converting an existing garage may not always be desirable, there are certainly times when the established built environment supports a new use, provided that privacy issues are fully considered. Allowing the clustering of garages and the development of shared driveways is intended to help neighborhood development in a manner generally consistent with historic development. Again, there are issues to review during the process, but the flexibility to approve will keep the door open for unique site plan decisions appropriate to the historic context.

Provided that approvals are carefully reviewed and conditioned as needed, staff supports the Conditional Use option. Alternately, it is possible that these uses could be reviewed under design review, without the CUP requirement, especially if a public hearing were still required for approval. Regardless of the process, staff believes it is important to provide flexibility on a site-by-site basis.

Height Requirements have been modified to limit accessory structure height increases. The Design Guidelines provide that height of Second Units in Old North be limited to 15 feet while height in Old East may be increased through the CUP process. The proposed Conditional Use height increases will apply to Old East, but staff has also included lots on the east side of F Street.

Andrew Wallace, an F Street homeowner and Old North Davis board member, pointed out at the neighborhood meeting and later by email that Old North lots on east side F Street back onto more intense zoning districts: either CC or Mixed-Use, depending on location. Mr. Wallace asked whether the zoning could allow additional discretionary approval for increased height to help transition between zoning districts. No negative comments were received to his proposal at the meeting.

Staff agrees that transition options might be helpful, although care would be needed to ensure that adjacent neighbors are not negatively impacted by a taller accessory building. While the relative height allowed for east F Street lots was not studied during the design guideline development, providing for potential height increases is in keeping with the design guideline approach of

evaluating projects in context. If Planning Commission concurs, staff will bring forward an amendment to the Design Guidelines to reflect the height option within this limited part of Old North.

Minimum lot area, width and yard requirements

- Area and width: The city's current minimum lot area and width requirements were set after the development of these neighborhoods. All Old North lots (except for a handful of "double lots") are below the minimum area and width requirements. The same is true for the almost all lots in Old East that have not been combined for apartment buildings. Staff has proposed lower lot area and width minimums to eliminate this "non-conforming existing" problem and to reflect accurately the historical and desirable built environment. Please note that, for the few lots in Old North and Old East still below the minimum, the proposed "non-conforming existing" amendment, also on your June 17 agenda, will provide for development consistent with the other R-2 CD lots, provided that all development standards are met.
- Proposed rear yard coverage excludes two alley parking spaces from rear yard coverage calculations, allowing for the addition of a Second Unit and alley parking, heretofore an almost impossible task to accomplish.
- Front setbacks have been revised to reflect the built environment. The design guideline method of averaging has been proposed.
- Street side yard set backs Current street side yard setbacks, 15 feet, do not reflect the built environment, particularly in Old North. Staff proposes that they be reduced to 10 feet. Again, the design review process will help ensure that projects are appropriate in context. Side yard setbacks have been modified to reflect "large house" standards for one-story buildings over twenty feet high.
- FAR has been added, also to reflect new "Large House" standards.
- Alley landscaping requirements have been added, consistent with design guidelines.

Parking spaces Standards have been revised to include "large house" parking provisions. Guest houses will be included in calculations for total bedrooms, as per large house parking requirements. Further, staff has proposed that parking requirements be reduced for Second Units, in a manner consistent with the Design Guidelines (see pages 110 and 111, Old North neighborhood case study, DTRN Design Guidelines, attached).

Staff has recommended that parking be reduced one space for second units on any lot on which primary building standards have been fully met. The reduced parking requirement will help address how parking can be accomplished in a manner sensitive to the neighborhood. Note, however, that primary building parking standards must be met in full before this reduction can be approved. The net result may be that the parking reduction encourages small scale infill (Second

Units) over larger duplexes. If so, that would address in part the neighborhood concerns about overbuilding the smaller parcels.

Staff has also included a provision that parking requirements can be reduced by the Planning Commission with a finding that the reduction is needed in order to protect a historic building or landscape feature.

Conclusion:

While there are unresolved issues, particularly among those property owners who feel strongly that R-1 zoning is more appropriate in these older neighborhoods, staff firmly believes that the zoning should be updated now to R-2 standards. The special Conservation District zoning will make it easier to accommodate future changes than under the current city-wide applicable R-2 zoning. This zoning update has been pending for two years. Staff hopes the result has been worth the wait. We strongly recommend adoption.

Attachments

Note: With the exception the Old North case study excerpt, Staff has not included the design guidelines publication as an attachment, assuming that Planning Commissioners already have copies. If any commissioner needs another copy, please contact Lynanne Mehlhaff in the Planning and Building Department.

1. Initial Study for Negative Declaration and Public Hearing notice
2. Proposed R-2 CD Zoning Ordinance
3. Current R-2 Zoning District
4. Neighborhood Meeting Comment Table
5. Old North case study excerpt, DTRN Design Guidelines, pages 110 and 111
6. Correspondence



Supplemental Staff Report

TO: Planning Commission

FROM: Bill Emlen, Planning and Building Director
Katherine Hess, Planning and Redevelopment Administrator
Esther Polito, Cultural Services Manager

SUBJECT: Continued Public Hearing: PA# 125-02, Establishing an R-2 Conservation District (R-2 CD) Zoning District

Recommendation

Staff recommends the Planning Commission take the following actions:

1. Hold a continued public hearing on the proposed R-2 CD zoning drafted by staff; and
2. Recommend approval of Negative Declaration #22-02 finding that the proposed ordinance amendment will not have a significant negative impact upon the environment; and
3. Review the draft and recommend that the City Council adopt the proposed ordinance.

Background/Continued Public Hearing Focus

On June 17, the Planning Commission supported in concept many elements of the draft zoning, while asking the staff to provide more built-environment data to inform discussion on the specific items listed below.

1. Proposed accessory structure set backs, particularly in Old North Davis;
2. Proposed on-site parking requirements, particularly in Old North Davis;
3. Non-conforming buildings, existing and proposed remodeling and replacing standards; and
4. Neighborhood interest in studying whether the neighborhoods should be rezoned R-1.

This report addresses these issues. For all other information, please refer to the original staff report, attached.

Continued Noticing and Public Outreach:

Because the June public hearing was continued to a date uncertain, residents and property owners were sent notices announcing the August 5 date. Staff attended an Old North Neighborhood Association meeting on July 25 to discuss the draft and sent several email messages to Old East residents. To date, no response to those emails has been received. Finally, the revised draft zoning proposal and additional staff report will be posted to the city's web site this week.

Environmental Determination

Negative Declaration # 22-02, attached to this report, has been prepared for the project. Staff has determined that the proposed project will have no significant impact on the environment.

Items for Additional Research and Analysis

1. Existing set backs for accessory buildings, particularly in Old North Davis

Planning Intern Kristina Perkins spent some time gathering information on accessory structure setbacks and on-site parking spaces in Old North Davis. Her tables are attached to this report. The figures are estimates, based on observation rather than actual measurements. While it is difficult in certain cases to determine the exact location of the actual lot line, Kristina's estimates provide an excellent snapshot of the Old North built environment.

Kristina counted 45 accessory structures on alley frontage that appear to be either garages or habitable space. Of these, 32 structures appear to comply with the city's relevant setback standards (0 to 5 ft. on alley, 5 ft. on side).

On Old North lots without alley frontage, most accessory structures appear to comply wide side setback requirements, while rear setbacks could not be determined.

Staff did not undertake a similar study of Old East. The lack of alley frontage on most lots makes it difficult for staff to estimate rear yard structure setbacks, or even definitely determine the existing rear yard structures.

After reviewing the data, staff continues to believe that the standards and exceptions included in the draft zoning will provide sufficient flexibility to consider the setbacks for accessory buildings in context. In addition to the current ability to request reduction in rear yard setbacks, applicants will now be able to ask that the standards to be reduced to cluster accessory buildings and to protect historic building and landscape features. To simplify procedures (and costs) these reductions will be considered through Design Review rather than a Conditional Use permit.

When combined with existing standards, these additional alternatives should be sufficient to protect the built environment while meeting current accessory structure needs.

2. Existing on-site parking spaces, particularly in Old North Davis

Lots in the southern half of Old North have driveways and curb cuts and typically meet or exceed the number of required parking spaces. That is not the case in the northern half of the neighborhood, however, where a large number of alley frontage lots do not provide enough spaces to conform to current parking standards.

The city's standards require that new parking spaces be provided when an applicant adds bedrooms. The total number of spaces required are specified in zoning. Some neighbors have expressed concern that the additional parking spaces will radically change the

neighborhood over time, especially along the alleys. One of the neighbors asked the Commission at the June public hearing to consider eliminating on-site parking requirements, particularly along unpaved alley frontage. These narrow alleys are a character-defining neighborhood feature. The design guidelines state that "Alleys should retain a small scale, rustic image," and also "Traditional parking patterns should be retained."

There are two major objections to increased alley parking: the narrow, unpaved alleys can't handle the greater traffic load, and there is not sufficient room on narrow 50 foot wide alley lots to develop parking spaces while maintaining gardens and other landscape features. Most alley lots do not have driveway and curb cuts.

Staff collected data on the existing alley parking spaces in Old North. There are approximately 60 alley parcels without driveways. Approximately 20 of those parcels do not appear to ever have had designated alley parking spaces, while half of the remaining 40 have abandoned some or all of their historic parking garages and/or spaces.

The draft zoning that was reviewed by the Planning Commission in June proposed reducing the parking requirement by one space for second units. This provision partially addressed neighborhood concerns, in keeping with the Neighborhood Case Study site plan that is included in the adopted Design Guidelines. In addition, the proposal exempts up to two parking spaces along an alley from rear lot coverage calculations.

After reviewing the data and consulting with Old North neighbors, staff has retained the proposal described above and developed an additional alternative to help alleviate the negative impact of parking spaces along alleys: allowing the owner to hold a landscape area in reserve for one required space. This new provision would be allowed only on lots for Old North minimum width alley lots with only one single-family-residence as the primary building. In other words, this provision will not apply to duplexes, lots with multiple primary structures or wider lots (typically 1.5 or 2 lots wide). However, the provisions would apply on lots with an SFR and a second unit.

For example, consider a typical minimum width alley lot with a three bedroom house and a small studio or one bedroom second unit. Current parking standards require three spaces (two for the house and one for the second unit.) The revised standards would require one developed parking space, plus a reserved landscaped area that could be developed in the future if needed.

Staff recommends the reserved space approach in these limited situations as a way of retaining neighborhood character while planning for future needs. When coupled with provisions to encourage alternate parking surfaces and allow trellises as parking covers, staff believes providing the reduced number of required on-site parking spaces does not have to result in significant changes to the built environment.

However, the neighborhood may densify over time to the point that property owners need to develop their reserved spaces. If so, impacts will be more difficult to mitigate. Staff will continue to monitor alley use and consult with the neighborhood on meeting long term parking needs.

3. Non-Conforming Buildings: Standards governing remodeling and replacing

Remodeling standards

Under city code section 40.28.120 , if setbacks were legal when the structure was built, the structure may be expanded along its existing side yard first-story setbacks. Second story additions would need to comply to current second story setbacks. These are the continued standards that were recommended in your June 17 draft.

In the current draft, staff has proposed one additional context reduction: to allow reduction of second story setbacks to a minimum of 5 feet. Planning Commission approval would be required with specific requirements that the Commission to consider privacy concerns, massing and scale and neighborhood context when making their decision.

Historically, two-story houses in these neighborhoods have a straight vertical two story wall, rather than a stepped wall. Most of these larger houses have setbacks that are greater than 5 feet. Staff does not anticipate that reducing two story setbacks will be desirable in most circumstances. However, there are locations where, due to historic site plan development patterns, a decreased second story would not be objectionable - adjacent to a large open space on a double lot or alongside a large accessory structure for example. Therefore, allowing the concept to be considered in context is appropriate. The required review would focus decision-makers on potential negative impacts.

Standards for replacing a structure when involuntarily damaged or destroyed

Under established city code 40.28.110, a building that is damaged by less than sixty percent of its appraised value for tax purposes, exclusive of the foundations at the time of damage, can be rebuilt as before, provided that it shall be substantially completed within six months of damage or destruction.

On June 17, the Planning Commission asked staff to consider provisions that could allow a damaged structure to be replaced. In response, staff has provided a new section, 40.04A.080 (b) to extend the provision above to up to 100% of damaged structure value, with 18 months to complete replacement. Note that this replacement is limited to rebuilding the structure as it was before.

Once a building is significantly destroyed, it seems highly unlikely that an applicant would undertake replacement without making significant changes. We considered allowing expansion coupled with replacement, but at that point it seems more much appropriate to

review the structure under standards for new construction. Therefore, while staff can support the revised standards, we do not expect to have much impact.

Standards for replacing a building that has been voluntarily demolished

Planning Commissioners briefly discussed whether using existing non-conforming setbacks would be appropriate for new construction following a voluntary demolition. Staff understood that the Commission was seeking a way to maintain the existing context to the greatest extent possible.

However, allowing expansion but not replacement provides an incentive that discourages demolition. Putting it another way, using non-conforming set backs for new construction has the likely unintended consequence of encouraging demolition. Since one of the goals of the conservation district is to discourage demolition while providing ways to expand and reuse existing buildings, a proviso that could encourage demolition would be inappropriate.

On a technical note, to allow different standards on each lot based on earlier site plans would result over time in zoning that was hard to administer and inconsistent on a lot to lot basis.

Staff does not recommend applying non-conforming standards for new construction. The flexibility already provided for in the draft zoning should adequately protect the neighborhood.

Changing the use of an existing non-conforming accessory structure

Under zoning code 40.28.120, accessory structures may not be converted to habitable space unless structure is consistent with district. As proposed in the June R2-CD draft, staff is recommending the Conditional Use Permit conversion of non-conforming accessory structures to habitable space, subject to certain findings. The Planning Commission has already supported the concept at the June meeting. Without this provision, a non-conforming structure could not be converted.

4. R-1 vs. R-2 Zoning

Staff advised the Commission in June that several residents have commented that R-1 zoning is, in their opinion, more appropriate for these neighborhoods. However, staff was recommending that the R-2 update go forward rather than be delayed by further study.

The main thrust of this initiative was to bring forward the current R-2 zoning with modifications in a way that ensured that the two controlling documents - zoning standards and design guidelines - work together. In this way, all three project goals would be met: consistency with the built environment, consistency with the design guidelines, and clarifying expectations and streamlining the approval process.

At the Planning Commission's request, staff consulted with the Old North Neighborhood Association Board. No one suggested at that time that staff delay the R-2 zoning for further study, although there were certainly members who were interested long term.

The staff recommendation to go forward at this time while recommending future study still stands. Creating the special zoning district will increase neighborhood flexibility when considering future Conservation District context needs.

Other Changes

Staff has made minor revisions to the draft zoning to clarify certain provisions, shift some decisions from conditional use to design review, and generally organize and clean up the draft ordinance.

Once Planning Commission recommends the zoning, the City Attorney will need to review it in its entirety. While the final version may be somewhat changed from the draft reviewed on August 5, staff's intent, of course, will be to make sure that the substance remains the same.

Conclusion:

The special Conservation District zoning will be a substantial improvement over the existing zoning. We ask that the Planning Commission recommend its adoption.

Attachments

Note If any commissioner needs a copy of the Downtown Davis and Traditional Residential Design Guidelines, please contact Lynanne Mehlhaff in the Planning and Building Department.

1. Proposed R-2 CD Zoning Ordinance with revision from June 17 draft indicated. *pages 7-14*
2. Table of Recent Revisions *pages 15+16*
3. Old North Davis parking survey *pages 17-25*
4. Initial Study for Negative Declaration and Public Hearing notice for August 5 hearing *pages 26-40*
5. June 17 Staff Report *pages 41-52*
6. Current R-2 zoning *pages 53+54*
7. Draft Minutes, June 17 Planning Commission public hearing *pages 55-57*

The Commission considered the original motion to approve the design alterations with the additional condition of the planters.

AYES: DuPree, Gunnell, Hunt, Hofmann, Hagedorn

NOES: Spencer

The motion passed 5 to 1.

The Planning Commission recessed at 8:54 p.m.

The Planning Commission reconvened at 9:07 p.m.

B. PA #125-02, Establishing an R-2 Conservation District Zoning District, Negative Declaration #22-02; (Esther Polito)

Public Hearing to consider two zoning ordinance amendments. 1) The creation of a new standard zoning district: Residential One and two Family within the Conservation District (R-2 CD). This new zoning district is proposed to be created and adopted in both the Old North and Old east residential neighborhoods in an effort to incorporate into its standard zoning regulations the previously approved Downtown and Traditional Residential Neighborhood Design Guidelines for the two areas. 2) The rezoning of the existing residential (R-2) neighborhoods within the Old North and the Old East from R-2 to the proposed R-2 Conservation District.

Esther Polito, Cultural Services Manager presented the staff report. She recommended that if the Planning Commission agreed, it would be appropriate to change the reductions in rear yard setbacks, side yard setbacks, increase in heights for secondary units to Tier 3 Design Review, (fully noticed Planning Commission determinations) rather than a Conditional Use Permit.

Chairperson Hagedorn opened the public hearing.

Z. Smith, resident of Old North Davis area, stated that 17 of the 19 homes on his block would not be legal under the proposed zoning. He wanted to strive for a zoning ordinance where the majority of the houses of Old North should pass as they are currently. He mentioned that most of the houses did not provide the required on-site parking yet parking was not a problem in this neighborhood. Accessory structures are mostly on lot lines or within a few feet and this was not a problem but a benefit. He suggested staff be directed to do a real survey of the neighborhood of the current setbacks and parking.

Andy Wallace of 642 F Street, said that his lot backs on to a higher use zoning district. He didn't like the 30 foot accessory structure across the alley from his property. He liked the idea of a 1 ½

story accessory structure and having the option of letting your neighbors provide feedback on projects. He liked the location of accessory structures being close to property lines.

Michael Omada, a resident just outside of this zoning area, supported the staff recommendations.

Rhonda Reed of 320 I Street, wanted to see a stronger evaluation of the R-1 zoning concept to see what the current property owners in the neighborhood are looking for in terms of second dwelling units. Also, is there some sort of streamlined regulatory structure that the City can institute to create two separately owned dwelling units on a lot and market them separately as individual homes. She would like to increase homeowner units rather than add rental units.

Chairperson Hagedorn closed the public hearing.

Commissioners commented as follows:

- they wanted some leniency and flexibility if someone wanted to improve an existing non-conforming structure.
- in these older neighborhoods, trees and landscaping have grown up over the years, we should allow some of these accessory units to conform to their original setbacks so as not to change the character of the neighborhood.
- there was discussion on whether to allow replacement structures to build to the existing setbacks or make them rebuild to the new setbacks. There was concern over if a structure was destroyed, could it rebuild to the original setbacks. Another concern was whether this could encourage demolition if any house could be rebuilt to its original setbacks.
- There should be some kind of evaluation as to whether or not owners could place the new structure on the original nonconforming footprint; there should be some flexibility or the correct review method.
- Commissioners felt additional information and analysis was needed in order to make any decisions particularly on the parking situation, the sideyard setback issues and accessory structures.

Action: Commissioner DuPree moved to continue the hearing for additional analysis on parking, accessory structures, on what constitutes a remodel, and with a focus on what is existing there now in the two neighborhoods. Commissioner Gunnell recommended that staff study the question of R-1 versus R-2. Vice-Chair Hunt suggested that the Planning Commission take a field trip and really look at the neighborhood even if it is done on an individual basis. The motion was restated: to continue to a date uncertain with the intent of additional analysis specifically on setbacks, parking, accessory structures, remodels and study of R-1 and R-2. Chairperson Hagedorn seconded the motion. Commissioner DuPree asked as not part of the motion but in the future the Planning Commissioners could go and visit and walk and tour the neighborhood. Commissioner Gunnell suggested the following things could be voted on tonight such as staff recommendation of a Design Review instead of the Conditional Use Permit process

for accessory structures and being able to increase the height on the east side of the F Street lots or have a Design Review process for that but not limiting that to the strict 15 foot limit. Also, reducing the parking requirement for the accessory structure and reduction of the minimum lot size.

Staff requested comments on the options for fully noticed Tier 3 Design Review as opposed to Conditional Use Permits. Commissioners expressed support for the idea especially due to the fee reduction and the fact the Tier 3 Design Review provides for a fully noticed public hearing. The motion made by Commissioner DuPree was voted on as follows:

AYES: DuPree, Gunnell, Hunt, Hofmann, Spencer, Hagedorn
The motion passed 6 to 0.

Commissioner Gunnell moved to accept staff recommendation that accessory structures would go through a Tier 3 Design Review process instead of a Conditional Use Permit; direct staff to look at what would be an appropriate height limitation for the lots on the east side of F Street and that would also fall under a Design Review Tier 3 process and not a CUP; that the Commission accept staff recommendation to reduce the minimum lot size in Old North and Old East; that the Commission to accept staff recommendation that habitable accessory structures can have reduced parking by one space in Old North. Commissioner Hagedorn seconded the motion.

Commissioner Hunt added an amendment on page 4, to support under Conditional Uses the converting of existing non-conforming accessory structures to second units or other habitable space and, under Design Review, allow reducing side and/or rear yard setbacks to allow for clustering garages and sharing driveways. Commissioners accepted the amendment.

AYES: DuPree, Gunnell, Hunt, Hofmann, Spencer, Hagedorn
The motion passed 6 to 0.

- C. PA #125-02, Zoning Ordinance Amendment – Existing Non-conforming Lots, Negative Declaration #22-02; (Danielle Foster)**
Public Hearing to consider a zoning ordinance amendment to Section 40.27.020: Existing Lots of Record, to eliminate a minimum lot size and allow for development on non-conforming lots within all residential districts to meet current zoning standards.

Danielle Foster, Junior Planner, summarized the staff report.

Commissioner Hagedorn opened and closed the public hearing.

Action: Commissioner DuPree moved that the City Council adopt the Negative Declaration #22-02 and that the City Council introduce the attached ordinance amending Section

Chairperson Robertson stated that it wasn't good planning to have an area set aside for parking without an enforcement mechanism to trigger when a parking space would have to be provided. After some discussion, Chairperson Robertson revised his proposed amendment to require a Conditional Use Permit when someone wants to "reserve" a space rather than to develop it as part of the original application. Design Review would be sufficient in all cases except for those that seek a Conditional Use Permit to use an area for landscaping purposes until the need arises. Staff and Commissioners accepted this amendment.

AYES: Hunt, Robertson, Spencer, Whittier
The motion passed 4 to 0.

B. PA #01-03, 607 Pena Drive, Davis Musical Theatre Company, Conditional use Permit #01-03; (Cathy Camacho)

Public Hearing to consider approval of a conditional use permit to locate a 10,000 square foot community theater company at 607 Pena Drive. The proposed project would be located within a new 34,000 square foot building to be constructed on a portion of a 7.17 acre parcel that includes 2795 2nd Street.

Cathy Camacho, Junior Planner, presented the staff report and noted several corrections. On page 1 of the staff report, the actual address of the second building on the parcel is 2795 2nd Street, the proposed theatre is actually 240 seats and not 250 which changes the parking requirements from 63 to 60.

Planning Commissioners clarified that at the November 19, 2002 Planning Commission meeting, the Zoning Verification submitted by DMTC for 607 Pena Drive, only established that the non-profit theatre operation was a quasi-public/semi-public use and did not include a determination that the use was necessary to serve and appropriate under PD #4-88.

Chairperson Robertson opened the Public Hearing.

Steve Isaacson, Co-producer of Davis Musical Theatre Company, stated his reasons for leaving the Varsity Theater and described their needs.

Troy Estacio, Buzz Oates Construction, answered questions.

Robin Weiner, Board member of DMTC, described the workshops and the different productions. Jan Isaacson, who started the company 19 years ago, explained the history of the company.

There were no public communications.

5. Consent Items

A. Minutes of May 20, 2003

Action: The minutes were approved by consensus by Robertson, Hofmann, Hunt, Spencer and DuPree. Commissioner Whittier abstained due to not being present at that meeting.

6. Public Hearings

A. PA #125-02, Establishing an R-2 Conservation District Zoning District, Negative Declaration #22-02; (Esther Polito)

Public Hearing to consider two zoning ordinance amendments. 1). The creation of a new standard zoning district: Residential One and Two Family within the Conservation District (R-2CD). This new zoning district is proposed to be created and adopted in both the Old North and Old East residential neighborhoods, in an effort to incorporate into its standard zoning regulations the previously approved Downtown and Traditional Residential Neighborhood Design Guidelines for the two areas. 2). The rezoning of the existing residential (R-2) neighborhoods within the old North and Old East from R-2 to the proposed R-2 Conservation District.

Esther Polito, Cultural Services Manager, presented the staff report.

Chairperson Robertson opened and closed the continued public hearing.

Action: Commissioner Hunt moved approval of Negative Declaration #22-02. Commissioner Whittier seconded the motion.

AYES: Hunt, Robertson, Spencer, Whittier
The motion passed 4 to 0.

Commissioner Hunt moved staff recommendations for the new zoning for the Old North and the Old East neighborhoods. Commissioner Whittier seconded the motion. Chairperson Robertson proposed an amendment to the main motion which was to strike the language at the end of 40.04A.070 Parking, (b), (1), to delete the references for the reserved parking area on the site. This deletion was to remove the requirement that there be this set-aside landscaped area.

**Comments from the Participants at Old East and Old North
Neighborhood Meeting, June 2, 2003**

| Comment Recorded | Further staff comments | Staff Response |
|---|---|---|
| Desire in both neighborhoods for zoning to be changed from R-2 to R-1. | <i>Several participants interested in down zoning. Others all right with R-2, but with definite preference to small second units (2 bedrooms).</i> | At this time, updating the zoning is long over-due Staff recommends that R-2 zoning be updated and the idea referred for future study. Once Conservation zoning is adopted, residents and property owners could study how the zoning could be further refined. |
| Second Unit public hearing (Conditional Use Permit). | <i>One participant strongly preferred a fully noticed public hearing. Some discussion, but no consensus.</i> | CUP process provides Design Review and used to allow for owner-occupancy condition. Since the former is provided for in the Conservation District, and the latter no longer viable, staff is recommended that the CUP requirement be deleted for all but the most controversial projects (increases over 15 ft., reductions in set backs). Neighbors will be notified, and neighborhood response to a project could result in a fully noticed public hearing. Neighborhood Associations will also be noticed. |
| Second Story Decks-privacy issues caused by such. | <i>One participant stated that Planning Commission and staff have previously promised to address impact of raised decks in regard to privacy issues.</i> | Privacy issues are significant concerns on small lots. No action is recommended by staff at this time. It could be useful to provide an interpretation of the design guidelines to guide future projects. |
| Possibilities of use conversion/improvements to be made for existing accessory structures without strict compliance with typical development standards. (of a historic nature?) | <i>Non-conforming garages are often closer than five feet from the rear property line, and sometimes less than 5 feet from the side. Question was whether city can allow a change of use, provided that all other development and design standards are met. In some</i> | Staff has proposed allowing conversion of existing non-conforming structures as a Conditional Use. The proposed change provides greater flexibility appropriate to a conservation neighborhood while providing the scrutiny of CUP review. Note that this would be an exception to Section 40.28.010 (c) which limits non- |

**Comments from the Participants at Old East and Old North
Neighborhood Meeting, June 2, 2003**

| Comment Recorded | Further staff comments | Staff Response |
|--|---|---|
| | <i>cases, "historic" garages have aesthetic attributes that contribute to the neighborhood.</i> | conforming structures by prohibiting their alteration in a manner that would increase discrepancy between existing conditions and zoning ordinance standards. |
| Look at surrounding zoning districts and the potential impacts of different standards on the R-2 neighbors (G Street Co-op), | <i>Statement related to improving transition to G Street mixed-use and core commercial area by allowing additional accessory structure height for lots on east side of F Street.</i> | As a result of this comment, staff has revised the ordinance to propose that lots on the east side of F Street be eligible for a CUP to increase the height, as per Old East. Great care will be needed, in that while the increase will help buffer a more intense use, it also has the potential to negatively impact the adjoining F street neighbors. |
| Look at reduced setbacks/development standards for smaller lots. | <i>One participant suggested that city consider proportional reduction in setback (e.g. 4 foot side yard setback for 4000 sq. ft. lot) for existing non-conforming lots.</i> | This comment is applicable to existing non-conforming zoning. More research would be needed to study this issue. At this time, staff stands by the recommendation to require that all development standards are met without reduction. Meeting the standards is a way to ensure that the development on the smaller lot will not negatively burden the adjoining properties. |
| Look at corner side setbacks, especially in Old North, where few lots comply with the required setback. Should standards be reduced to conform to what's existing? | <i>Participant did not believe that new zoning would allow existing structures to be rebuilt. Long term result would not be conservation of neighborhood.</i> | Staff concurs that conservation rather than replacement of the neighborhood is the goal. In the draft zoning, staff had proposed a street side yard reduction from 15 ft. to 10 ft. for lots adjoining a sidewalk and planting strip. |
| Parking for Large Duplexes, a big issue that should be addressed. | <i>New parking standards (large house ordinance) may in part alleviate concerns. Further discussion underscored that participants found large duplexes are a problem in terms of the number of people occupying them, not</i> | No recommendations at this time. It is possible that the reduced standards for Second Units will, in some cases, encourage the types of smaller infill that are more acceptable to neighbors. |

**Comments from the Participants at Old East and Old North
Neighborhood Meeting, June 2, 2003**

| Comment Recorded | Further staff comments | Staff Response |
|---|--|---|
| Commitment to Densification | <i>just the parking problems. In response to continued discussion of possible R-1 zoning, one resident commented that the city has made a commitment to densify. General agreement that the problems occur in student oriented housing.</i> | See comment above and under R-1 discussion.. |
| Enforcement of Design Review Conditions. | <i>Question from resident related to how the city ensures that design standards are implemented, particularly landscape standards.</i> | Landscape maintenance is a problem city-wide, particularly in rental properties. Landscape plans could be reviewed during design review to ensure that landscape plant material is low maintenance, where needed. |
| Balance of Densification and minimum lot sizes, to provide for ownership in the neighborhoods. | | Not addressed at this time. Neighbors seek ways to densify the number of units, while keeping unit size small. |
| Parking reductions in response to second units, recognize potential impacts. Parking District in Old East? | <i>Several participants commented that J Street (particularly around 3rd Street) is being impacted with over flow parking from the depot. They wanted to find out how to form a parking district similar to the one established on I Street.</i> | Staff has proposed to reduce second unit parking requirements by one space, provided that all primary building parking standards are met. Since second units are limited in size, the combination of parking reduction and lower fees (no impact fees for second units) may result in a preference for second units over duplexes in certain situations. |
| INCENTIVES for the restoration of historical structures/features, including monetary and/or development standards | <i>Strong interest in incentives particularly ones that would reduce fees or modify development standards to preserve an older home. For example, rear yard additions are often preferable to a second story addition, but lot coverage may not allow the additional footprint. More</i> | Staff strongly concurs, but is not ready to bring forward incentives at this time. Issues for future study include possibility of establishing standards for historic buildings that differ from regular standards, with a finding that the alternate standards are needed to protect a historic resource and that the resulting project will not negatively affect adjoining properties. |

Comments from the Participants at Old East and Old North
Neighborhood Meeting, June 2, 2003

Page 4 of 4

| Comment Recorded | Further staff comments | Staff Response |
|---|---|--|
| For all projects, notify entire Old North and Old East Neighborhoods (homeowner's association). | <i>Resident commented that 300 ft. is inadequate because project impacts are not only in the immediate vicinity but also in the face that the approval can set precedent for the entire neighborhood.</i> | The point is well taken. Staff will get information to neighborhood associations to the greatest extent possible. Staff does not recommend broadening the mailing requirement because of the cost to an applicant. |

Correspondence

Attachment 11

OLD NORTH AND OLD EAST ZONING SURVEY NEIGHBORHOOD MEETING June 2, 2003

The primary intent of the June 2nd meeting is to advise residents and property owners of the zoning changes that staff is recommending to implement the city's recently adopted "Downtown and Traditional Residential Neighborhood Design Guidelines." Given that almost two years have elapsed since the design guidelines were adopted, staff is strongly recommending that the existing R-2 zoning be updated as soon as possible. A public hearing has been scheduled for the June 17 Planning Commission meeting. However, if neighbors advise that more time is needed, the zoning update can be delayed and additional neighborhood meetings scheduled.

Staff is also using the June 2nd meeting to request input on any other issues that might be studied for possible future zoning updates.

This survey can be filled out and returned at the meeting, or returned to Esther Polito at the Planning and Building Dept., 23 Russell Boulevard. You may also email your comments to Esther at epolito@ci.davis.ca.us.

1. Please use the space below for suggestions or comments on the proposed zoning update. In particular, please review the underlined text and provide feedback on any preferred options.

I would recommend moving the North boundary of Old East ^{South} down to within 1 lot of 5th Street and make the resultant block north of the new boundary R1.

2. Are there design guidelines you feel ought to be included that are not addressed in this zoning proposal? If so, please identify.

Duplexes not so bad but others such as poor cash homes, nurseries, schools, etc NOT GOOD.

3. Are there other zoning issues that you would like staff and neighbors to consider in future updates? If so, please outline the potential problem that you would like zoning to address.

Stoplight at 5th & J

*Jason L. Singleton 601 J St.
The June 2 meeting was well done!*

OLD NORTH AND OLD EAST ZONING SURVEY
NEIGHBORHOOD MEETING
June 2, 2003

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1. Please use the space below for suggestions or comments on the proposed zoning update. In particular, please review the underlined text and provide feedback on any preferred options.

The proposed zoning changes seem OK, however the Building + Planning Dept. must be flexible on these old houses and the Conservation Zoning.

2. Are there design guidelines you feel ought to be included that are not addressed in this zoning proposal? If so, please identify.

I would prefer a 20 ft. height for buildings on the design guidelines which allows for a better 2nd story.

3. Are there other zoning issues that you would like staff and neighbors to consider in future updates? If so, please outline the potential problem that you would like zoning to address.

Staff + Council must deal with parking all over Davis, particularly with "preferred parking" which should be eliminated.

From: Esther Polito
To: Willa Pettygrove AICP
Date: 6/4/03 9:32AM
Subject: Re: Comments on Old East Zoning

Willa,

This message is just to confirm that I've received your email and will include your email comments in the public record.

Your observation about Fourth Street width and parking opportunities is interesting - I'll ask PW about the possibility.

Regarding the commercial/industrial sites: No changes are proposed at this time to the zoning for the lots alongside the tracks and the certain portions of L Street that are zoned Commercial Services (CS). I would hate to delay the R-2 update while we study the area, however. The L Street blocks in particular may need rezoning to support future land use proposals. A zoning review of L Street, and perhaps of all CS parcels, as well as a study of how to transition appropriately are both excellent proposals for a future study.

Esther

Esther Polito
Cultural Services Manager
City of Davis
phone: 530/757-5610
fax: 530/757-5660
epolito@ci.davis.ca.us

>>> "Willa Pettygrove AICP" <bmngrove@sbcglobal.net> 06/04/03 09:00AM >>>

Sorry second page of my fax didn't go. I always toss things in the fax as I leave my office, then come back and find them sitting there.

Here are my comments:

L Street is functioning as an arterial, as an alternate route to Second Street from downtown. It is characterized by much larger lot sizes and multifamily housing, commercial, industrial, and quasi public uses (e.g. churches). Can zoning support a transition zone with appropriate redevelopment/development along L? This will become even more important as decisions are made about the PG&E Corp Yard.

For quasi public uses in particular, and possible for existing multifamily housing sites, parking standards should support alternatives such as shared parking.

The width of Fourth Street would accommodate some angled parking adjacent to commercial, multifamily housing, and quasi public uses. This would take the pressure off other street parking in the area.

For the record you can list me as Willa Pettygrove, Davis Friends Meeting, 345 L Street.

As a more general comment, I was concerned that virtually all the comment at the meeting was from homeowners whose interest is entirely preservation of existing housing units (old and in some cases historic). Zoning standards need to be written to guide appropriate redevelopment of the many larger, undeveloped or commercial/industrial sites in the neighborhood.

Willa Pettygrove AICP
Bowman Grove Community Service Planning
530-753-6808

From: "Andrew P. Wallace" <ap_wallace@yahoo.com>
To: "angela" <awillson@pacbell.net>, <members@oldnorthdavis.com>
Date: 6/3/03 8:29AM
Subject: Meeting on Zoning Held on June 2nd

All,

I did attend the meeting last night for the City zoning. It was interesting. There was a large showing from Old East. There were a number of things discussed; the meeting lasted two hours. The speakers were Esther Polito and Danielle Foster. The meeting went well, and they are very open to new ideas.

They are providing input to the Planning Commission for the upcoming meeting on June 17.

If you would like to have an issue considered, please contact Esther AS SOON AS POSSIBLE or they will not have time to incorporate your ideas before the meeting. Her contact info is:

Esther Polito
757-5610
epolito@ci.davis.ca.us

A few issues that caught my eye:

--They are still evaluating set backs for a two story principal building.

Possible ptions:

- If existing at 5 feet, allow it to continue straight up
- If existing at 5 feet, top section must have 10 foot setback
- All two story structures must have 10 foot setback

--Design Review

-Everything in our area must go through Design Review regardless if designs follow the Guidelines or not.

--Off-street Parking

-If primary residence is 4 bedroom or less and if the accessory structure is less than 480 square feet and either a 1 bedroom or studio, then only 2 off-street parking places are required.

--Some discussion on what is considered a bedroom.

-A resident from J-Street complained that next to them was a duplex with 6 or 7 functional bedrooms on each side and over 20 people living there.

Dining rooms, offices, and dens were converted to bedrooms.

-A resident from Old North stated that an individual trying to build a small office off the master bedroom was required to place an extra parking spot on the lot.

--A number of residents at the meeting supported converting Old North and Old East to R1

--Why a Conservation District?

-There was some discussion on why we are called a Conservation District when Permitted uses include: duplexes, family/group day care, etc....this was linked to the desire to go to R1

-It's not known what percentage of people want to go to R1 or if this was a vocal minority.

There were a number of other things discussed that I missed. The most important thing, contact Esther with what is concerning you.

Best Regards,
Andy Wallace
Secretary, Old North Davis Neighborhood Association

> -----Original Message-----
> From: oldnorth-admin@velocipede.dcn.davis.ca.us
> [mailto:oldnorth-admin@velocipede.dcn.davis.ca.us]On Behalf Of angela
> Sent: Tuesday, June 03, 2003 7:50 AM
> To: Andrew P. Wallace; members@oldnorthdavis.com
> Subject: Re: [OldNorth] SPAM
>
>
> Spam is a problem... but... the delete key is likely
> easier for us than the various things you can do... so
> lets wait and see.
>
> Did anyone go to either the Co-op or the city meeting
> on zoning last night? If so what happened?
>
>
> Angela
> -- "Andrew P. Wallace" <ap_wallace@yahoo.com> wrote:
> > All,
> > There has been an increasing number of SPAM emails
> > to the the Old North
> > Davis mailing list. There are various things I can
> > do to cut down on these.
> > However, I'm hoping not to as the current settings
> > make list management
> > easier.
> >
> > In the event that SPAM becomes excessive over the
> > coming weeks/months, I
> > will change various properties of the email list to
> > reduce the potential for
> > SPAM.
> >
> >
> > Best Regards,
> > Andy Wallace
> >

>>
>>
>> oldnorth mailing list
>> oldnorth@mailman.dcn.org
>> http://www2.dcn.org/mailman/listinfo/oldnorth
>
>
> oldnorth mailing list
> oldnorth@mailman.dcn.org
> http://www2.dcn.org/mailman/listinfo/oldnorth

CC: <epolito@ci.davis.ca.us>

From: "Andrew P. Wallace" <ap_wallace@yahoo.com>
To: <epolito@ci.davis.ca.us>
Date: 6/3/03 10:01AM
Subject: feedback from Old North resident

Esther,

Thank you for the meeting last night. It was very informative.

I would like to reiterate an issue that I would like considered. I believe that the boarder between East side of F Street and the West side of G Street be re-evaluated.

I believe that accessory structures on F Street should be exempt from the 15 foot requirement. For your reference, I have attached a few photos from our house. We are considering building a new accessory structure. If we used the existing structure, it's purpose would solely be to keep the existing position as it does not fulfill either the side or rear setback requirements.

As you can see from the photos, we must look at a ~25 foot wall directly across the alley. If we could build a structure that was perhaps 17-19 feet, we could have an accessory structure with a loft and we would not see the rear structure from our yard. I don't know the exact details or numbers, but I strongly encourage you to relax the requirement on the East side of F Street. Perhaps, allow the 1 1/2 story accessory like in Old East. Or, then all of G Street should have the same 15 foot requirement.

Furthermore, I support the idea of enabling a 2 unit accessory structure if all of the coverage requirements are met. We would prefer a smaller house as our primary residence and a separate structure for both an office and guests, which would likely be considered to have 2 small bedrooms. Our main house is only 950 square feet.

Also, you requested information on the Old North Davis Neighborhood Association.

- We meet the 4th Thursday of every month.
- Flyers typically go out 1-2 weeks before.
- Our website is OldNorthDavis.com
- You can obtain contact information for all of the board members and association members with email addresses at our website.

Lastly, you mentioned the individual who purchased the units 637 and 643 across the street from us. I believe you said his name with Steve Pro, but I'm not sure. Do you happen to have his contact information?

Best Regards,
Andy Wallace
ap_wallace@yahoo.com
(530) 753-2178

From: "Andrew P. Wallace" <ap_wallace@yahoo.com>
To: <epolito@ci.davis.ca.us>
Date: 6/3/03 10:18AM
Subject: feedback from Old North resident

Sorry,
The photos are now attached.
Andy

Esther,

Thank you for the meeting last night. It was very informative.

I would like to reiterate an issue that I would like considered. I believe that the boarder between East side of F Street and the West side of G Street be re-evaluated.

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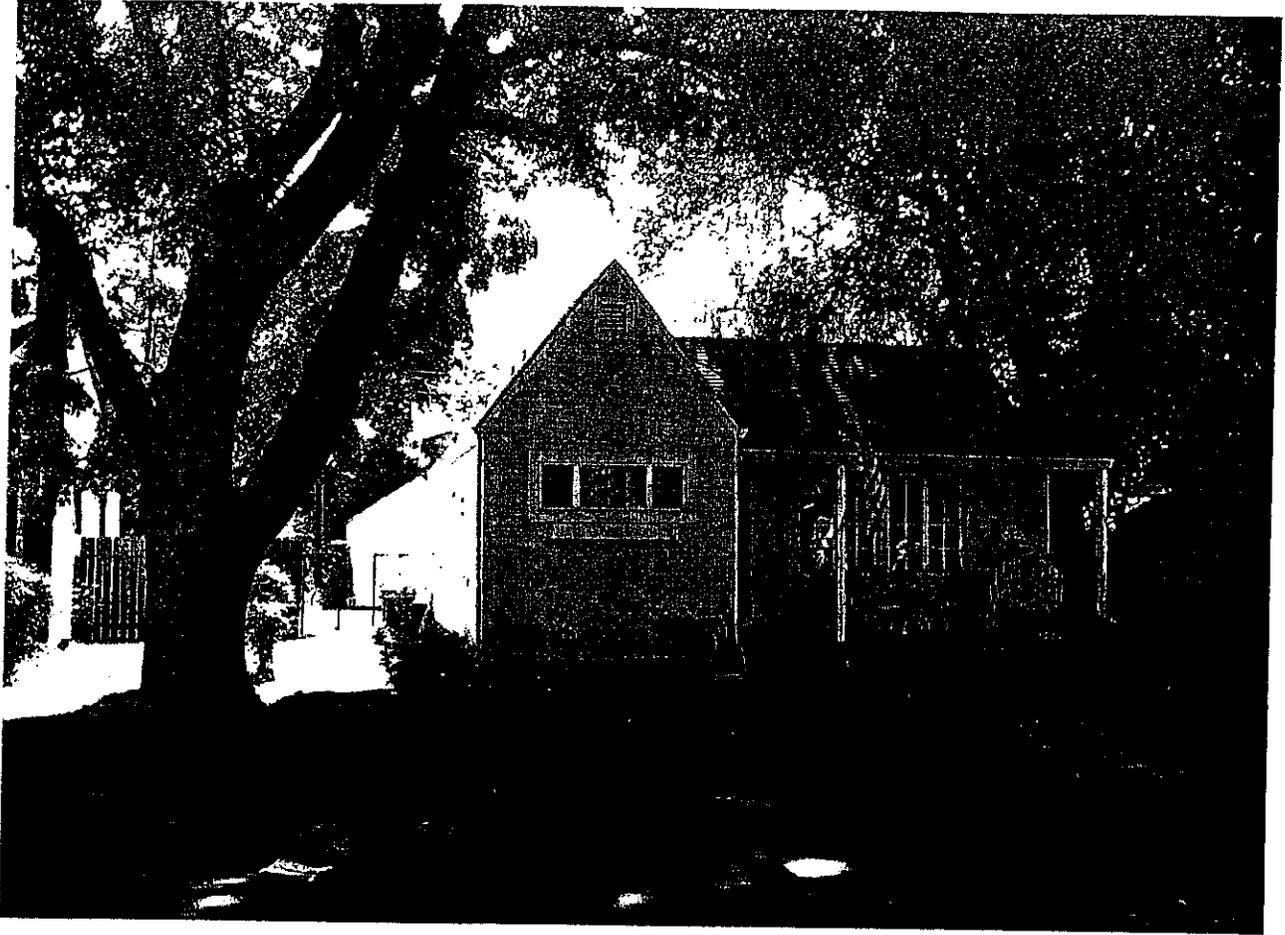
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- Flyers typically go out 1-2 weeks before.
- Our website is OldNorthDavis.com
- You can obtain contact information for all of the board members and association members with email addresses at our website.

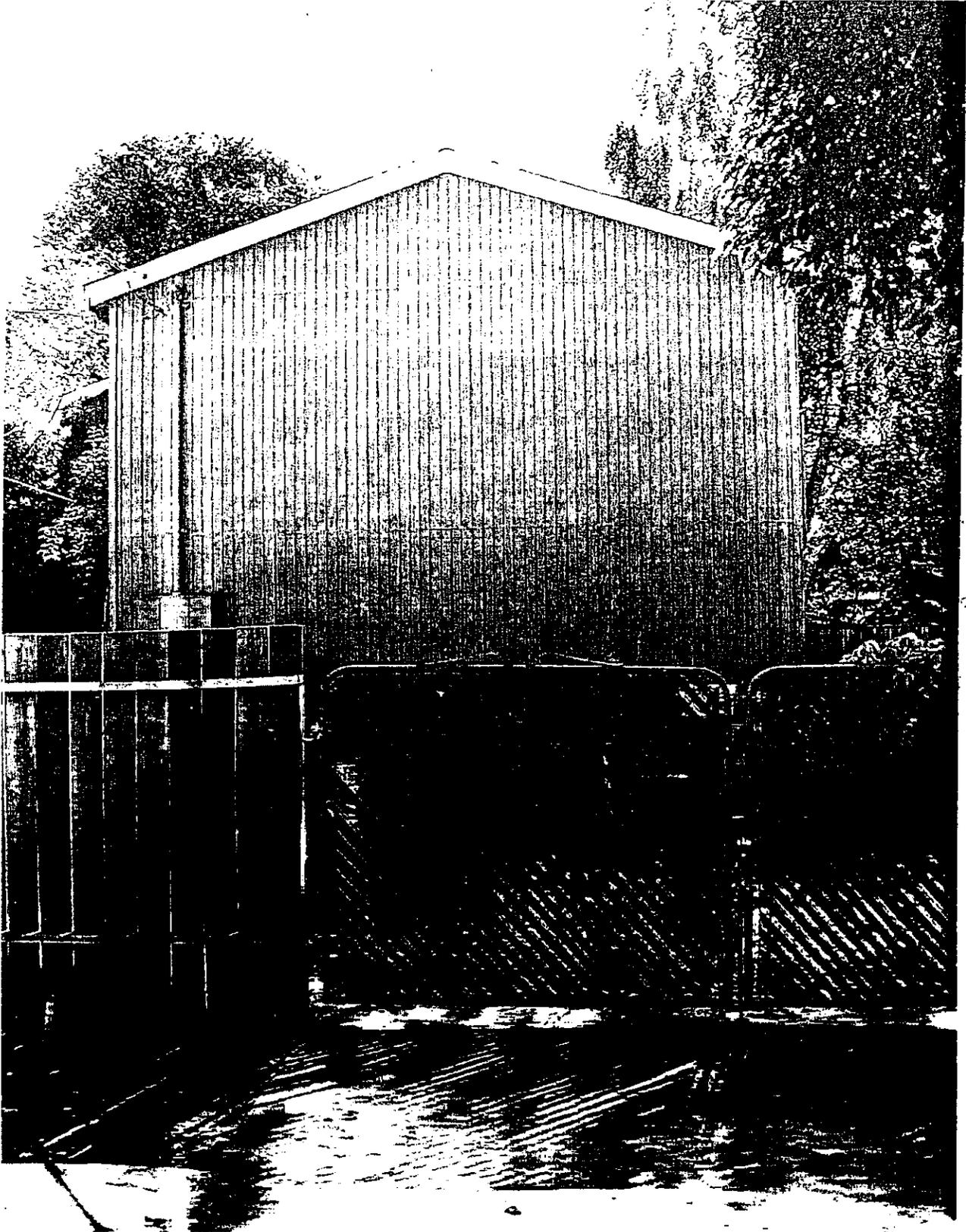
Lastly, you mentioned the individual who purchased the units 637 and 643 across the street from us. I believe you said his name with Steve Pro, but I'm not sure. Do you happen to have his contact information?

Best Regards,
Andy Wallace
ap_wallace@yahoo.com
(530) 753-2178









From: Esther Polito
To: Z Smith
Date: 12/2/2003 11:39:57 AM
Subject: Re: Old North ordinance questions / data

Z:

The version on line is being updated, mostly in terms of legalese. The city attorney has reworked it. The only content change is that increases height above 15 ft. where permitted for secondary dwelling units will be done through design review, not CUP.

In regard to requiring design review, almost every exterior alteration project in Old North currently requires design review. We have not changed that requirement. We have, however, eliminated the conditional use requirement for a secondary dwelling unit. Projects meeting the standards can be approved through administrative design review. Exceptions will need to go to the Planning Commission. In all cases, 300 ft. noticing and posting is required. A public hearing is required for projects heard by the Planning Commission.

The proposed zoning decreases sideyard setbacks. We have also included a provision that a building can be rebuilt to its current setbacks after a catastrophe. Yes, I realize that a number of buildings don't meet these reduced setbacks. However, as discussed with the Planning Commission, staff does not recommend further reductions. Reducing setbacks further can encourage demolition. Please keep in mind that the intent of the district was to retain the older buildings to the greatest extent possible. Also, new buildings are almost always larger than the existing, resulting in greater impact. I can discuss with you further if you like.

We have also provided that up to two parking spaces on the alley can be exempted from rear yard coverage calculations. That will assist with alley development projects.

In regard to exceptions, we have made sideyard and parking exceptions in specific situations that 1) protect historic building and landscape features, 2) allow converting non-habitable space to habitable without having to meet current zoning standards, 3) reduce parking for secondary dwelling units, and 4) allow a reserved space rather than a developed space for one primary building parking space.

Thank you for the sample data. I will forward it to Council, together with your email.

Esther

Esther Polito
Cultural Services Manager
City of Davis
phone: 530/757-5610
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epolito@ci.davis.ca.us

>>> "Z Smith" <zsmith@neeleyarchitect.com> 12/2/2003 10:46:24 AM >>>
Esther,

Questions about the new R2-CD that would apply to Old North:

- 1) Is the online version (August 5th) the most recent?
- 2) Every project in Old North would require Design Review. As I read the ordinance, all the exemptions that have been discussed about setbacks, etc., would require a Design Review Permit approved by the Planning Commission. Does the Design Review Permit require a public hearing? 300' notification?

- 3) I've enclosed some data from measurements of one sample block (mine,

naturally) and of side-yard setbacks of all the corner lots in Old North.
You might take a look at them if you get a chance...

Z

Old North Davis

Proposed R-2CD Zoning

Checking Street Side Yard Setback (for dwelling units) of every corner residential lot

Proposed Zoning would require 10' setback on street side yards at ground floor, 15' at second floor.

Note: actual property line ~2' inside sidewalk (away from street); verified by measuring from propline markers in sidewalks

Of 39 addresses, 18 (46%) fail the 10' setback requirement.

If the setback requirement were set to 5' (same as "interior" lots with same 50' width), then only 5 of 39 (13%) would fail

South side of 7th St East to West

| | Streetside Setback (10' req'd) | side yard along... | |
|------------------|--------------------------------------|-----------------------|---|
| 646 F St | 6 | 7th St | |
| 647 F St | 12 | 7th St | |
| 614 7th St | 0 | E/F alley | converted garage? Entry faces house |
| 612 7th St | 2 | E/F alley | duplex-half |
| 610 7th St | 20 | E St | duplex-half |
| 639 E St | 16 | 7th St | |
| 648 D St | 10 | 7th St | |
| 647 D St | 5 | 7th St | |
| 647 D St Cottage | 3 | 7th St | converted garage-- entry faces house; 0' setback on alley |
| 648 C St | 8 | 7th St | |
| 648 C St Cottage | 8 | 7th St | Entry faces house; 0' setback along C/D alley |
| 651 D St | 5 | 7th St | |
| 648 B St | 4 | 7th St | |

North side of 6th St East to West

| | | | |
|------------|----|-----------|-------------|
| 705 6th St | 7 | F/G alley | |
| 703 6th St | 18 | F St | |
| 621 6th St | 18 | F St | |
| 619 6th St | 15 | E/F alley | |
| 617 6th St | 15 | E/F alley | duplex-half |
| 615 6th St | 15 | E St | duplex-half |
| 601 E St | 13 | 6th St | |
| 602 D St | 14 | 6th St | |
| 601 D St | 8 | 6th St | |
| 602 C St | 7 | 6th St | |
| 603 C St | 22 | 6th St | |
| 309 6th St | 14 | B/C alley | |
| 301 6th St | 6 | B St | |

South side of 6th St East to West

| | | | |
|------------|----|--------|--|
| 704 6th St | 18 | F St | |
| 537 F St | 13 | 6th St | |
| 600 7th St | 18 | E St | |
| 539 E St | 11 | 6th St | |
| 537 D St | 5 | 6th St | |
| 536 C St | 6 | 6th St | |

North side of 5th St East to West

| | | | |
|------------------|-----|--------|---|
| 504 F St | 9.5 | 5th St | |
| 503 F St | 2.5 | 5th St | |
| 503 F St Cottage | 8.5 | 5th St | This is actually "front" setback; side is ~0 to property line |
| 502 E St | 9 | 5th St | |
| 501 E St | 14 | 5th St | This half of the duplex faces E St |
| 503 E St | 14 | 5th St | This half of the duplex face 5th St but is entered by a door facing W |
| 503 5th St | 14 | D St | |

Old North Davis
 Proposed R-2CD Zoning
 Check to see whether a typical existing Old North block would "pass"
 "Fail" means that if the existing structure were proposed as new construction, it would not pass zoning without Planning Commission granting a Design Review Permit

Block = D Street between 6th and 7th
 11/23/2003

| Min/Max: | Address | Corner | SF/Interior lot | duplex / SF + cottage | # dwelling units on lot | Main Structure | | | | | | | | | | Accessory Structures | | | | | Overall | | | # cars | Comments | | | | | | | |
|----------|-----------|-----------|-----------------|-----------------------|-------------------------|------------------|------------------|--------------------|----------------------|-----------------------|-----------------------|-------------------------|---------------------|---------------------|--------------------|----------------------|-----------------------|-----------------------|---------------------|---------------|----------------------|-------------------|--------------------|-------------------|----------|--------------------|---------------------|-------|------------------------|--------------------------|--|--|
| | | | | | | Lot width (feet) | Lot depth (feet) | Lot area (sq feet) | Front setback (feet) | Side 1 setback (feet) | Side 2 setback (feet) | Side 1+2 setback (feet) | Rear setback (feet) | Lot area covered SF | Lot area covered % | Type | Side 1 setback (feet) | Side 2 setback (feet) | Rear setback (feet) | Height (feet) | Rear yard coverage % | Structure area SF | Lot area covered % | | | Lot area covered % | Usable Open Space % | FAR % | Onsite covered parking | Onsite uncovered parking | Total on-site parking | |
| | | pass/fail | interior | | | 2 | 50 | 112.5 | 5625 avg. adj. | 5 | 5 | 12 | 20 | 40% | | 5 | 5 | 5 | 15 | 40% | 500 | 50% | 25% | 40%=500 #48% here | 1 | 1 | 2 | | | | | |
| | 602 D | fail | corner | SF | | 1 | 50 | 112.9 | 5645 | 18 | 14 | 4 | 18 | 37 | 1639 | 29% | none | | | | | 28% | 47% | 28% | 0 | 0 | 0 | 1 | | | | |
| | 608/610 D | fail | interior | duplex/cottage | | 3 | 50 | 112.9 | 5645 | 15 | 5 | 5 | 10 | 43 | 2050 | 36% | conv. garage | 3.5 | 10 | 13 | 12 | 0% | 536 | 8% | 46% | 0 | 46% | 0 | 3 | 3 | Zero "usable" open space by City definition (min. width 12'), but 3 10x50' courtyard is heavily used. This is the only dwelling still affordable by students | |
| | 612 D | fail | interior | SF + guest house | | 1 | 50 | 112.9 | 5645 | 20 | 18 | 4 | 22 | 46 | 1300 | 23% | guest house shed | 2 | 26 | 0 | 11 | 26% | 300 | 5% | 31% | 43% | 31% | 0 | 0 | 0 | 1 | |
| | 616 D | fail | interior | SF | | 1 | 50 | 112.9 | 5645 | 21 | 5 | 4 | 8 | 53 | 1230 | 22% | none | | | | | 22% | 47% | 22% | 1 | 1 | 2 | 2 | | | | |
| | 620 D | fail | interior | SF | | 1 | 50 | 112.9 | 5645 | 21 | 6 | 6 | 12 | 46 | 1330 | 24% | 2-car garage | 1 | 27 | 15 | 15 | | 360 | 10% | 33% | 21% | 42% | 2 | 0 | 2 | 1' setback allowed garage to avoid 2 Landmark Tree | |
| | 626 D | fail | interior | SF+studio | | 1 | 50 | 112.9 | 5645 | 20 | 7 | 6 | 13 | 40 | 1800 | 28% | studio | 9 | 31 | 8 | 12 | | 340 | 6% | 34% | 23% | 34% | 0 | 1 | 1 | 8' rear setback onto alley allows 2 car to park parallel | |
| | 630 D | fail | interior | SF | | 1 | 50 | 112.9 | 5645 | 20 | 7 | 21 | 28 | 42 | 1200 | 21% | 1-car garage | 2 | 28 | 9 | 11 | | 550 | 10% | 31% | 41% | 31% | 1 | 0 | 1 | 1 | |
| | 642 D | pass | interior | SF | | 1 | 75 | 112.9 | 8467.5 | 20 | 7 | 31 | 30 | 40 | 1800 | 19% | 2-car garage | 7 | 50 | 9 | 12 | | 365 | 4% | 23% | 40% | 23% | 2 | 0 | 2 | 3 | |
| | 648 D | fail | corner | SF + 2 access | | 1 | 75 | 112.9 | 8467.5 | 23 | 10 | 30 | 40 | 40 | 1500 | 16% | studio | 13 | 58 | 0 | 12 | | 288 | 3% | 24% | 46% | 24% | 0 | 0 | 0 | 1 | |

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